

ORDER

COURT DETAILS

Court **LAND AND ENVIRONMENT COURT**
Class **1**
Registry **Level 4, Windeyer Chambers, 225 Macquarie Street, SYDNEY**
Case number **10677 of 2011**

TITLE OF PROCEEDINGS

Applicant **Treysten Pty Limited**

Respondent **Hornsby Shire Council**

DATE OF ORDER

Date made or given **12 January 2012**

Date entered

TERMS OF ORDER

1. The appeal is upheld.
2. Deferred Commencement Consent is granted to Development Application No. 484/2011 for the construction of a Seniors Living Development containing 76 independent living units and an associated community building at No. 392 Galston Road and No. 5 Mid Dural Road, Galston subject to the conditions in Annexure 'A'.

SEAL AND SIGNATURE

Court seal

Signature

Capacity

Date

PARTY DETAILS

Treysten Pty Limited

Hornsby Shire Council

[Applicant]

[Respondent]

Please note: Parties must complete the additional section of UCPR Form 43 in the event that they furnish the document for sealing by the Registrar.

ANNEXURE 'A'
Treysten Pty Limited v Hornsby Shire Council - Land and Environment Court
Proceedings No. 10677 of 2011

Conditions of Consent

DA No. 484/2011 – 392 Galston Road and 5 Mid-Dural Road, Galston

Deferred Commencement Consent

This is a "Deferred Commencement" consent that is granted subject to a condition under section 80(3) of the Environmental Planning and Assessment Act 1979 ("EP&A Act") that the consent is not to operate until the applicant satisfies Hornsby Shire Council ("Council") as to the matters set out in schedule A below. The period within which the applicant must produce evidence to the Council sufficient enough to enable it to be satisfied as to those matters is 36 months.

If the applicant produces evidence to the Council within the period specified sufficient to enable the Council to be satisfied as to the matters set out in Schedule A below and the Council notifies the applicant in writing that it is satisfied as to the relevant matters, the development consent shall become operative from the date specified in the notice subject to compliance with the conditions set out in Schedule "B" below.

SCHEDULE A

- a. Documentary evidence must be provided that a licence has been granted under the *Water Industry Competition Act 2006 (WICA)* for the design, installation and operation of the proposed on-site sewage management system or, alternatively, evidence that a licence is not required by the NSW Independent Pricing and Regulatory Tribunal.
- b. Details of the on-site sewage management system (WICA approved, if applicable), including but not limited to:
 - i. Scaled site plan of the proposed system including all sewerage infrastructure.
 - ii. Capacity and design specifications of proposed septic and holding tanks.
 - iii. Details and specifications for pump out systems of lift pumps, pump-out lines and the pipe to be used in order to deliver 364 L/min of sullage at the outlets.
 - iv. Details of proposed locations of pump-out point/s and tanker standing location/s a minimum of 3 metres from the centre line of the road and bunding to contain any spillage.

- v. Details of proposed tanker pump out frequency and procedures for emergency pump out.
- vi. Method of ensuring connection at a future stage to a reticulated sewage system.
- c. Documentary evidence must be provided that licence has been granted under the *Water Industry Competition Act 2006 (WICA)* for the design, installation and operation of the proposed water supply system, or alternatively, evidence that a licence is not required by the NSW Independent Pricing and Regulatory Tribunal.
- d. Details and specifications of the water supply system.

NOTE: THE DESIGN OF BOTH SYSTEMS IS TO ENSURE THAT NO TREES ARE DAMAGED OR REMOVED.

SCHEDULE B

GENERAL CONDITIONS

The conditions of consent within this notice of determination have been applied to ensure that the use of the land and/or building is carried out in such a manner that is consistent with the aims and objectives of the relevant legislation, planning instruments and Council policies affecting the land and does not disrupt the amenity of the neighbourhood or impact upon the environment.

Note: For the purpose of this consent, the term 'applicant' means any person who has the authority to act on or the benefit of the development consent.

Note: For the purpose of this consent, any reference to an Act, Regulation, Australian Standard or publication by a public authority shall be taken to mean the gazetted Act or Regulation, or adopted Australian Standard or publication as in force on the date that the application for a construction certificate is made.

3. Approved Plans and Supporting Documentation

The development must be carried out in accordance with the plans and documentation listed below and endorsed with Council's stamp, except where amended by Council and/or other conditions of this consent:

| Plan No. | Drawn by | Dated |
|------------------------------------|-----------------|--------------|
| DA-01A Location – Site Plan | ARC Architects | May 2011 |
| DA-02A Site Plan – 76 Dwellings | ARC Architects | May 2011 |
| DA-04A Typical | ARC Architects | May 2011 |

| | | |
|--|----------------|------------|
| Cluster | | |
| DA-05A Typical Roof Plan | ARC Architects | May 2011 |
| DA-10A Street Front Elevations | ARC Architects | May 2011 |
| DA-11A East Boundary Elevations | ARC Architects | May 2011 |
| DA-12A West Boundary Elevations | ARC Architects | May 2011 |
| DA-13A North The Avenue Elevations | ARC Architects | May 2011 |
| DA-14A South The Avenue Elevations | ARC Architects | May 2011 |
| DA-15A Typical Elevations | ARC Architects | May 2011 |
| DA-16A Typical Elevations | ARC Architects | May 2011 |
| DA-17 Community Centre | ARC Architects | May 2011 |
| DA-17A Community Centre | ARC Architects | May 2011 |
| DA-18A Sections SA & SB | ARC Architects | May 2011 |
| DA-19A Sections C & D | ARC Architects | May 2011 |
| | | |
| DA-30A Dwelling A1 | ARC Architects | May 2011 |
| DA-31A Dwelling A2 | ARC Architects | May 2011 |
| DA-32A Dwelling B1 | ARC Architects | May 2011 |
| DA-33A Dwelling B2 | ARC Architects | May 2011 |
| DA-34A Dwelling C1 | ARC Architects | May 2011 |
| DA-35A Dwelling C2 | ARC Architects | May 2011 |
| DA-36A Dwelling D | ARC Architects | May 2011 |
| DA-37A Dwelling E | ARC Architects | May 2011 |
| DA-38A Dwelling F | ARC Architects | May 2011 |
| DA-39A Dwelling G | ARC Architects | May 2011 |
| DA-40A Dwelling H | ARC Architects | May 2011 |
| DA-41A Dwelling I | ARC Architects | May 2011 |
| DA-42A Dwelling J | ARC Architects | May 2011 |
| | | |
| LS01 F DA Landscape Site Plan (as amended for more advanced plantings by order of the Court) | Taylor Brammer | 09.052011 |
| LA02 E Planting Plan | Taylor Brammer | 27.08.2010 |

| | | |
|---|--|------------|
| 1-3 (as amended for more advanced plantings by order of the Court) | | |
| LA03 E Planting Plan 2-3 (as amended for more advanced plantings by order of the Court) | Taylor Brammer | 09.5.2011 |
| LA04 E Planting Plan 3-3 (as amended for more advanced plantings by order of the Court) | Taylor Brammer | 09.05.2011 |
| | | |
| IE00 C Civil Drawings Legend | Meinhardt Infrastructure & Environment | 05-07-10 |
| IE02 D Erosion & Sediment Control Plan | Meinhardt Infrastructure & Environment | 06-05-11 |
| IE03 C Erosion & Sediment Control Details | Meinhardt Infrastructure & Environment | 05-07-10 |
| IE04 H Detail Civil Plan | Meinhardt Infrastructure & Environment | 10-05-11 |
| IE05 F Site Sections | Meinhardt Infrastructure & Environment | 10-05-11 |
| IE06 D Road Long Section | Meinhardt Infrastructure & Environment | 05-07-10 |
| IE08 D OSD Details | Meinhardt Infrastructure & Environment | 06-05-11 |
| IE09 D OSD Details | Meinhardt Infrastructure & Environment | 06-05-11 |
| IE10 D Miscellaneous Details | Meinhardt Infrastructure & Environment | 08-07-10 |

| Document No. | Prepared by | Dated |
|--|-------------------------|--------------|
| Job No. 11074 – Statement of Environmental Effects | Ingham Planning Pty Ltd | May 2011 |

4. Removal of Existing Trees and landscape plan requirements

This development consent only permits the removal of tree(s) numbered 1, 3, 4, 5, Tree 6 (20 trees), 7, 8, 13, 14, 15, 16, 17, 18, 19, 20, 21, 23, 24, 25, 27 and 35, as identified on Appendix 1a (Site Plan with Trees) prepared by

Advanced Treescape Consulting dated 13/05/11. The removal of any other trees requires separate approval under Council's Tree Preservation Order. The changes required to the landscape plan are as follows

Amended landscaping plans to be submitted to Council which include larger pot sizes for the lower and mid storey plantings and which give consideration to the appropriate pot sizes for taller trees and whether advanced pot sizes are appropriate and will adapt to the site. Landscaping plan to be prepared with a view to achieving screening as quickly as practical.

REQUIREMENTS PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

5. Boardwalk design

A detailed design of the proposed boardwalk to Mid Dural Road is to be submitted to Council. The boardwalk is to be designed so that there is no adverse impact on existing STIF vegetation, and is to include a report from an arborist detailing the materials to be used in constructing the boardwalk and they key design features that will be adopted to discourage people leaving the boardwalk and traversing the ground near the STIF vegetation. Lighting is to be designed to ensure there are no adverse impacts to the community and ensure safety by users.

6. Bin Carting Routes

There must be no steps along the bin carting route(s). Only ramps between different levels are acceptable.

7. Composting Area

Space must be provided for either individual compost containers for each dwelling or a communal compost container; the siting of which will have regard for potential amenity impacts.

8. Consolidation – Lodgement of Plan

Evidence that a plan consolidating the developed lots has been registered by the *NSW Department of Lands* must be submitted to Council or the nominated accredited certifier.

9. Building Code of Australia

All building work must be carried out in accordance with the requirements of the Building Code of Australia.

10. Contract of Insurance (Residential Building Work)

In the case of residential building work for which the *Home Building Act, 1989* requires there to be a contract of insurance in force in accordance with Part 6

of that Act, that such a contract of insurance is in force before any building work authorised to be carried out by the consent commences.

Note: This condition does not apply to the extent to which an exemption is in force under Clause 187 or 188 of the Act, subject to the terms of any condition or requirement referred to in Clause 187(6) or 188(4) of the Act, or to the erection of a temporary building.

11. Notification of Home Building Act, 1989 Requirements

Residential building work within the meaning of the *Home Building Act, 1989* must not be carried out unless the principal certifying authority for the development to which the work relates (not being Council) has given Council written notice of the following information:

- a. In the case of work for which a principal contractor is required to be appointed:
 - i. The name and licence number of the principal contractor.
 - ii. The name of the insurer by which the work is insured under Part 6 of that Act.
- b. In the case of work to be done by an owner-builder:
 - i. The name of the owner-builder.
 - ii. If the owner-builder is required to hold an owner-builder's permit under that Act, the number of the owner-builder's permit.

Note: If arrangements for doing the residential building work are changed while the work is in progress so that the information notified becomes out of date, further work must not be carried out unless the principal certifying authority for the development to which the work relates (not being Council) has given Council written notification of the updated information.

12. Water/Electricity Utility Services

The applicant must submit written evidence of the following service provider requirements:

- a. *Energy Australia* – a letter of consent demonstrating that satisfactory arrangements have been made to service the proposed development.
- b. *Sydney Water* – the submission of a 'Notice of Requirements' under s73 of the *Sydney Water Act 1994*.

Note: Sydney Water requires that s73 applications are to be made through an authorised Sydney Water Servicing Coordinator. Refer to www.sydneywater.com.au or telephone 13 20 92 for assistance.

13. Retaining and Earthworks

A plan of all retaining walls over 1000mm and earthworks shall be prepared by a chartered geotechnical and structural Engineer.

14. Internal Driveway/Vehicular Areas

The driveway and parking areas on site must be designed in accordance with *Australian Standards 2890.1, 2890.2, 3727* and the following requirements:

- a. Design levels at the front boundary be obtained from Council.
- b. The driveway be a rigid pavement.
- c. The driveway grade must not exceed 25 percent and changes in grade must not exceed 8 percent per plan metre.
- d. The driveway pavement be a minimum 3 metres wide, 0.15 metres thick reinforced concrete with F72 steel reinforcing fabric and a 0.15 metre sub-base.
- e. The pavement have a kerb to one side and a one-way cross fall with a minimum gradient of 2 percent and a kerb inlet pits provided on grade and in low points.
- f. Retaining walls required to support the carriageway and the compaction of all fill batters to be in accordance with the requirements of a chartered structural engineer.
- g. The provision of safety rails where there is a level difference more than 0.3 metres and a 1:4 batter can not be achieved.
- h. To permit adequate manoeuvring for vehicles, non-through road driveways at least shall incorporate roll top kerbs and kerb inlet drainage control.
- i. Conduit for utility services including electricity, water, gas and telephone be provided.

15. Stormwater Drainage General

The stormwater drainage system for impervious areas at least within the development must be designed and constructed for an average recurrence interval of at least 20 years and be gravity drained in accordance with the following requirements:

- a. Connected to the existing internal drainage system and the proposed on-site detention system, draining to a Mid-Dural Road Council-controlled piped drainage system.

- b. All pits are to be benched off to their outlet inverts. Sumps are not required anywhere in the drainage system.
- c. All pits are to be cast in-situ, with integral extended kerb inlets designed and constructed on grade and in sag points.

16. On Site Stormwater Detention

Two on-site stormwater detention systems must be designed by a chartered civil engineer and constructed in accordance with the following requirements:-

- a. Have capacities and a maximum discharge rates (when full) as set out in Appendix 12 – Civil Engineering Concept Design Report dated 2 July, 2010 by Meinhardt Infrastructure & Environment Pty Ltd.
- b. Have a surcharge/inspection grate located directly above the outlet, and include a grated overflow system for storm events greater than the 20 year average recurrence interval (ARI). Emergency overflow weir systems shall also be designed and constructed for the 100 year ARI and disposed of to the public road.
- c. Discharge from the detention system to be controlled via 1 metre length of pipe, not less than 50 millimetres diameter or via a stainless plate with sharply drilled orifice bolted over the face of the outlet discharging into a larger diameter pipe capable of carrying the design flow to an approved Council system. All pits shall be benched off to their outlet inverts.
- d. The OSD volumes are above ground and the average depth is greater than 0.3 metres, therefore 'pool type' safety fences and warning signs are to be installed.

17. Mid-Dural Road Drainage

In order to dispose of stormwater safely from the site, the following works shall be designed and constructed in accordance with Council's Design and Construction Specification 2005 at the Applicant's cost:-

- a. The eastern side on-site detention system shall be drained with a minimum 375 mm diameter reinforced concrete pipe to an extension of Council's drainage line in the road sag adjacent 390 Galston Road.
- b. The existing Council's drainage pit being connected shall be removed and replaced with Council's standard extended kerb inlet pit and matched to finished surface levels.
- c. The western side on-site detention system shall be drained to a piped drainage system in Mid-Dural Road draining to the west, using Council's standard kerb inlet pits and reinforced concrete pipe. The drainage line shall be extended along the Mid-Dural Road shoulder

zone so that access to neighbouring properties is unimpeded and there is adequate fall to allow pipe flows to be deposited safely with a headwall and graded table drain (refer Design and Construction Specification 2005 and Rural Road Design, Austroads Inc. 1997, Ch 5).

- d. Pursuant to the *Roads Act 1993*, the road drainage plans must be submitted to Hornsby Shire Council as Roads Authority for consideration and approval prior to release of any Construction Certificate.

18. Road Works

All road works approved under this consent must be constructed in accordance with Council's *Civil Works Design and Construction Specification, 2005* and the following requirements:

- a. All centre medians, pedestrian refuges, left turn deceleration lanes, road pavement and resealing work, bus shelters and associated shoulder pavement and sealing works to be designed and constructed generally in accordance with the approved plans.
- b. To provide adequate mobility, Council's standard 80mm thick concrete footpaths are to be constructed within the road verge across the Mid-Dural and Galston Road frontages of the site and connected with the site's internal pathways.
- c. For safety, the Galston and Mid-Dural Road frontages of the site shall be adequately illuminated with Council's standard luminaires in accordance with AS1158.
- d. Signage, linemarking and services relocation must be shown on the construction plans.
- e. Pursuant to the *Roads Act 1993*, the roads works plans must be submitted to NSW RTA's Sydney Project Services, Parramatta Branch, for consideration and approval prior to release of any Construction Certificate. Lodgement of construction plans with RTA may incur additional fees for inspections, processing costs and performance bonds.
- f. The submission of a compaction certificate from a geotechnical engineer for any fill within road reserves, and all road sub-grade and road pavement materials.

19. Vehicular Crossings

A separate application under the *Local Government Act, 1993* and the *Roads Act, 1993* must be submitted to Council for the installation of two new concrete vehicular crossings and gutter laybacks and the removal of any redundant

crossing. The vehicular crossing must be constructed in accordance with Council's *Civil Works Design, 2005* and the following requirements:

- a. Any redundant crossings to be removed and matched to finished ground levels.
- b. The footway area to be restored by turfing.
- c. The road shoulder adjacent to the crossing to be constructed to match the carriageway, splayed at 45 degrees with a minimum standard shoulder pavement and sealed with 40mm AC10, as required.
- d. Approval obtained from all relevant utility providers that all necessary conduits be provided and protected under the crossing.

Note: An application for a vehicular crossing can only be made to one of Council's Authorised Vehicular Crossing Contractors. You are advised to contact Council on 02 9847 6940 to obtain a list of contractors.

20. Traffic Control Plan

A Traffic Control Plan (TCP) must be prepared by a qualified traffic controller in accordance with the *Roads & Traffic Authority's Traffic Control at Worksites Manual 1998* and *Australian Standard 1742.3* for all work on a public road and be submitted to Council. The TCP must detail the following:

- a. Arrangements for public notification of the works.
- b. Temporary construction signage.
- c. Permanent post-construction signage.
- d. Vehicle movement plans.
- e. Traffic management plans.
- f. Pedestrian and cyclist access/safety.

21. Contaminated Land

- a. A detailed investigation of the proposed development site must be prepared by a suitably qualified environmental consultant. Such investigation must be undertaken in accordance with NSW Environment Protection Authority's *Contaminated Sites – Guidelines for Consultants Reporting on Contaminated Sites and Contaminated Sites – Sampling Design Guidelines*.
- b. A Remedial Action Plan (RAP) must be prepared by a suitably qualified environmental consultant and submitted to Council should the detailed investigation reveal contamination exceeding criteria prescribed by the NSW

Environment Protection Authority's *Contaminated Sites – Guidelines for the NSW Site Auditor Scheme*.

- c. A validation report must be prepared by a suitably qualified environmental consultant in accordance with the NSW Environment Protection Authority's *Contaminated Sites – Guidelines for Consultants Reporting on Contaminated Sites* and *Contaminated Sites – Sampling Design Guidelines* validating that the proposed development has been remediated and is suitable for its intended use.

22. Bin Placement Areas

Garden beds, tree and shrub plantings along the main internal road must not impinge on the area required to place bins for servicing, being 2 bins per dwelling and allowing minimum 1 metre main internal road frontage per bin and minimum 820 mm depth. Only lawn or paving is acceptable within the bin placement areas.

23. Bin Storage

The bin storage area in each garage (with minimum internal dimensions of 820 mm deep by 2000 mm wide) must be in addition to the garage area required by *Australian Standard AS/NZS 2890.1:2004 – Off-street car parking*.

24. Vegetation Management Plan

The applicant shall prepare a Vegetation Management Plan (VMP) for the area of Sydney Turpentine Ironbark Forest (STIF) located at the Mid-Dural road frontage. The plan shall be prepared by a qualified and experienced bush regeneration company and be submitted to Council's Bushland and Biodiversity Team for review prior to approval.

The VMP shall be prepared in accordance with Council's *Guidelines for the preparation of Vegetation Management and Restoration Plans 2008* (available on Council's website) and shall include:

- a. Management and eradication of introduced environmental and noxious weeds including Blackberry, Cotoneaster and *Lantana camara* using approved bush regeneration techniques.
- b. Strategies for the encouragement of natural regeneration on site from the soil seed bank
- c. Revegetation works, where required, using a diversity of locally indigenous species. Include details of appropriate planting density, source of planting stock, species to be planted, site preparation works, mulching, watering of plants and maintenance of revegetation area.
- d. Use of any topsoil translocation as recommended within the *Flora and Fauna Assessment* prepared by *Clarke Dowdle and Associates* dated May 2011

- e. Erosion, sediment and stormwater runoff controls
- f. Details of any access tracks and other structures (i.e. fencing)
- g. Appropriate map of the site showing all areas to be managed and restored under the Plan.
- h. Schedule of works including timeframes and responsibilities for management actions
- i. Monitoring, performance criteria and reporting details
- j. Provide minimum qualifications and experience of contractors implementing the plan
- k. Linkages to the approved Landscape Plan (*Landscape and Planting Plan - LS01 Issue E & LA03 Issue D prepared by Taylor Brummer Pty Ltd*)
- l. Details of qualifications and experience of the company preparing the plan

The VMP shall be implemented in perpetuity and will require it to be placed on the title of the property (e.g. 88b instrument of the *Conveyancing Act 1919*) in order to ensure compliance beyond the release of the Occupation Certificate. The initial weed clearing works, revegetation and continued maintenance of the STIF area is undertaken by appropriately qualified persons to ensure the ecological importance of that community is maintained.

25. Car Parking and Deliveries

All car parking must be constructed and operated in accordance with *Australian Standard AS 2890.1 – 2004 – Off Street Car Parking* and *Australian Standard 2890.2 - 2002 – Off Street Commercial* and the following requirement:

- a. All parking areas and driveways are to be sealed to an all weather standard, line marked and signposted.
- b. Car parking, loading and manoeuvring areas to be used solely for nominated purposes.
- c. Vehicles awaiting loading, unloading or servicing shall be parked on site and not on adjacent or nearby public roads;
- d. All vehicular entry on to the site and egress from the site shall be made in a forward direction.

26. Mid-Dural Road Works

A detailed design for the pedestrian refuge island, bus stops, access driveway and median island on Mid Dural Road as shown on plan No: 103976 IE04 H, be provided to Council and approved by the Hornsby Local Traffic Committee. The design of the facilities shall be in accordance with the Roads and Traffic Authority (RTA) guidelines, technical directions and Austroads standards.

27. Galston Road Works

A detailed design for the pedestrian refuge island, bus stops, access driveway and median island on Galston Road as shown on plan No: 103976 IE04 H, be provided to Council and approved by the RTA. The design of the facilities shall be in accordance with RTA guidelines, technical directions and Austroads standards.

REQUIREMENTS PRIOR TO THE COMMENCEMENT OF ANY WORKS

28. Erection of Construction Sign

A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:

- a. Showing the name, address and telephone number of the principal certifying authority for the work,
- b. Showing the name of the principal contractor (if any) for any demolition or building work and a telephone number on which that person may be contacted outside working hours, and
- c. Stating that unauthorised entry to the work site is prohibited.

Note: Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

29. Toilet Facilities

Toilet facilities must be available or provided at the works site before works begin and must be maintained until the works are completed at a ratio of one toilet for every 20 persons employed at the site. Each toilet must:

- a. be a standard flushing toilet connected to a public sewer; or
- b. be a temporary chemical closet approved under the *Local Government Act, 1993*; or
- c. have an on-site effluent disposal system approved under the *Local Government Act, 1993*

30. Erosion and Sediment Control

Erosion and sediment control measures must be provided and maintained throughout the construction period in accordance with the manual 'Soils and Construction 2004 (Bluebook)', the approved plans, Council specifications and to the satisfaction of the principal certifying authority. The erosion and sediment control devices must remain in place until the site has been stabilised and revegetated.

Note: On the spot penalties up to \$1,500 may be issued for any non-compliance with this requirement without any further notification or warning.

31. Tree Protection Barriers

Temporary tree protection fencing must be erected around trees numbered Tree Group.11 to be retained at a five metre (5m) setback and in accordance with AS 4970-2009 (Section 4).

Temporary tree protection fencing must be erected around the group of trees and significant bushland located at the north, Mid-Dural road frontage of the property trees numbered 52, 51, 50, 49, 48, 47, 46, 45, 44, 43, 42, 41, 40, 39, 38, 37, 36, 35, 34, 33, 32, 31, 29, 28, 26 at a minimum distance of six metres (6m) and in accordance with AS 4970-2009 (Section 4).

The tree fencing must be constructed of 1.8 metre 'cyclone chainmesh fence' and maintained for the duration of the construction of the development.

Note: A certificate from a qualified Arborist is to be submitted to the Principal Certifying Authority stating that all tree protection measures are in accordance with AS 4970-2009 (Section 4) prior to commencement of works. The Arborist report is to specify the time the tree protection fencing is to be left in place for.

REQUIREMENTS DURING CONSTRUCTION

32. Construction Work Hours

All work on site (including demolition and earth works) must only occur between 7am and 5pm Monday to Saturday.

No work is to be undertaken on Sundays or public holidays.

33. Tree Protection Barriers

All required tree protection measures are to be maintained in good condition for the duration of the construction period.

All works (including driveways and retaining walls) within six metres (6m) of any trees required to be retained (whether or not on the subject property, and

pursuant to this consent or the *Tree Preservation Order*), must be carried out under the supervision of an 'AQF Level 5 Arborist' and a certificate submitted to the principal certifying authority detailing the method(s) used to preserve the tree(s).

Note: Except as provided above, the applicant is to ensure that no excavation, including sub-surface trenching for stormwater or other services or the Aerated Waste-water Treatment System (AWTS), filling or stockpiling of building materials, parking of vehicles or plant, disposal of cement slurry, waste water or other contaminants is to occur within the Tree Protection Zone (Advanced Treescape Consulting dated May 2011) of any tree to be retained.

34. Bushland Protection During Construction

To ensure the protection of bushland during construction, the applicant must ensure the following.

- a. The installation of 1.8 metre high chain wire fencing at a minimum distance of six metres (6m) from the significant bushland located at the north, Mid-Dural road frontage of the property
- b. The northern end of the property (Mid-Dural Road) shall not be used for vehicle access and egress during construction
- c. No stockpiling of soils or material within the fenced STIF zone

Note: The site contains Sydney Turpentine Ironbark Forest (STIF) which is listed as an 'Endangered Ecological Community' under the 'Threatened Species Conservation Act 1995'. The Act prohibits the disturbance to threatened species, endangered populations and endangered ecological communities, or their habitat, without the approval of the 'Office of Environment and Heritage' where such activities are not authorised by a development consent under the 'Environmental Planning and Assessment Act 1979'.

*Actions such as tree removal, understorey slashing or mowing, removal of dead trees within this vegetation would likely impact upon this endangered ecological community. Such action would qualify as illegally picking or disturbing the habitat and could render any person who carried out such action as **LIABLE FOR PROSECUTION***

35. Removal of Hollow Bearing Trees

Prior to the approved removal of hollow bearing trees the applicant is to carry out the following actions to prevent harm to native wildlife:

- a. Ensure the trees are removed in sections by a qualified Tree Surgeon just prior to dusk when roosting animals would be alert and likely to disperse 'naturally' from the site. Ensure that trees are knocked several times (with a hammer etc.) to alert any roosting animals of the possibility

of danger. Ensure that all tree hollows are be examined prior to and immediately after their removal to ensure roosting animals are free from danger.

- b. WIRES (Wildlife Rescue) volunteers can be contacted on (02) 8977 3333 or Wildlife Services Sydney Metropolitan volunteers can be contacted on (02) 9413 4300. Information on animal nesting boxes can be gained from WIRES, Kalkari Information Centre in Ku-Ring-Gai Chase National Park, or Birds Australia web site – www.birdsaustralia.com.au

36. Environmental Management

The site must be managed in accordance with the publication '*Managing Urban Stormwater – Landcom (March 2004)*' and the *Protection of the Environment Operations Act 1997* by way of implementing appropriate measures to prevent sediment run-off, excessive dust, noise or odour emanating from the site during the construction of the development.

37. Street Sweeping

Street sweeping must be undertaken following sediment tracking from the site along Galston Road and Mid-Dural Road during works and until the site is established.

38. Council Property

During construction works, no building materials, waste, machinery or related matter is to be stored on the road or footpath. The public reserve is to be kept in a clean, tidy and safe condition at all times.

Note: This consent does not give right of access to the site via Council's park or reserve. Should such access be required, separate written approval is to be obtained from Council.

39. Earthworks

A certificate shall be submitted by a suitably qualified chartered geotechnical engineer certifying the fill has been compacted in accordance with Council's Design and Construction Specification 2005

40. Disturbance of Existing Site

During construction works, the existing ground levels of open space areas and natural landscape features, (including natural rock-outcrops, vegetation, soil and watercourses) must not be altered unless otherwise nominated on the approved plans.

41. Landfill

Landfill must be constructed in accordance with Council's '*Construction Specification, 2005*' and the following requirements:

- a. All fill material imported to the site is to wholly consist of Virgin Excavated Natural Material (VENM) as defined in Schedule 1 of the *Protection of the Environment Operations Act 1997* or a material approved under the *Department of Environment and Climate Change's* general resource recovery exemption.
- b. A compaction certificate is to be obtained from a geotechnical engineer verifying that the specified compaction requirements have been met.

42. Excavated Material

All excavated material removed from the site must be classified in accordance with the *NSW Environment Protection Authority's Environmental Guidelines – Assessment, Classification and Management of Liquid and Non-Liquid Wastes* prior to disposal to an approved waste management facility and reported to the principal certifying authority.

43. Waste Management Plan

Demolition work and construction of the development must be carried out in accordance with a Waste Management Plan prepared in accordance with Council's Waste Minimisation & Management Development Control Plan and Guide for the Demolition Stage (Section One) and the Construction Stage (Section Three) of the development.

Note: In accordance with the *Protection of the Environment Operations Act 1997*, the definition of waste includes any unwanted substance/material, regardless of whether it is reused, recycled or disposed to landfill.

Refer also to Condition No. 49.

REQUIREMENTS PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE

Note: For the purpose of this consent, a reference to 'occupation certificate' shall not be taken to mean an 'interim occupation certificate' unless otherwise stated.

44. Services to be provided by retirement village operator

The applicant must demonstrate that there are contracts in place which require the retirement village operator to provide on-site services to the development as follows:

1. The operator of the retirement village must provide on-site meals, cleaning services, home maintenance, transport, personal care, access to emergency medical care and nursing care to residents of the development who require those services. Those services are to be provided for the life of the development.
2. The operator of the retirement village must implement a Management Plan for the provision of on-site services that details the following:

1. The name and contact details of the service provider and the person to be contacted concerning the provision of the service.
 2. The extent and range of the services to be provided and the cost for the provision of those services.
 3. The details of accreditation for the service providers and the contract period for the service delivery.
 4. The method of delivery, hours for the provision of the service and the expected timeframes for service provision.
 5. The details of service provision for 24 hour emergency contact.
3. A copy of the Management Plan is to be made available to all residents of the development and is to be kept updated by the operator of the retirement village for any change to the Plan.
 4. A caretaker is to be contracted for the ongoing maintenance and operation of the development including the waste water management system and the water supply system, as part of the Management Plan.
 5. The Management Plan must be in place prior to the issue of an Occupation Certificate.

45. Community Centre

The approved community centre must be completed and ready for occupation prior to the issue of an occupation certificate (including an interim occupation certificate) for any dwelling within the development.

46. Fulfilment of BASIX Commitments

The applicant must demonstrate the fulfilment of BASIX commitments pertaining to the development.

47. Sydney Water – s73 Certificate

A s73 Certificate must be obtained from *Sydney Water*.

48. Damage to Council Assets

Any damage caused to Council's assets as a result of the construction of the development must be rectified in accordance with Council's written requirements and at the sole cost of the applicant.

49. Creation of Easements

The following matter(s) must be nominated on the plan of subdivision under s88B of the *Conveyancing Act 1919*:

- a. The creation of an appropriate "*Positive Covenant*" and "*Restriction as to User*" over the constructed on-site detention/retention systems and outlet works, within the lots in favour of Council in accordance with

Council's prescribed wording. The position of the on-site detention system is to be clearly indicated on the title.

- b. To register the OSD easement, the restriction on the use of land "works-as-executed" details of the on-site-detention system must be submitted verifying that the required storage and discharge rates have been constructed in accordance with the design requirements. The details must show the invert levels of the on site system together with pipe sizes and grades. Any variations to the approved plans must be shown in red on the "works-as-executed" plan and supported by calculations.
- c. Implementation of the VMP as required under condition 22.
- d. The creation of an appropriate "Positive Covenant" and "Restriction as to User" over the land ensuring that each dwelling is occupied by persons who satisfy the provisions of clause 8 or 9 of *State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004*.
- d. For the purpose of waste collection, an easement entitling Council, its servants and agents and persons authorised by it to enter upon the subject land and to operate thereon, vehicles and other equipment for the purposes of waste collection must be granted to Council by the owner of the land.

Note 1: The easement must be in a form prescribed by Council and must include covenants to the effect that parties will not be liable for any damage caused to the subject land or any part thereof or to any property located therein or thereon by reason of the operation thereon of any vehicle or other equipment used in connection with the collection of waste and to the effect that the owner for the time being of the subject land shall indemnify the Council, its servants, agents and persons authorised by it to collect waste against liability in respect of any such claims made by any person whomsoever.

Note 2: Council must be nominated as the authority to release, vary or modify any easement, restriction or covenant.

50. Works as Executed Plan

A works-as-executed plan(s) must be prepared by a registered surveyor and submitted to Hornsby Shire Council for completed road pavement, kerb & gutter, public assets and drainage systems, signage, markings, driveways and on-site detention systems. The plan(s) must be accompanied by a certificate from a registered surveyor certifying that all pipelines and associated structures lie wholly within any relevant easements.

51. Site Remediation Verification

The applicant must provide documentation from a suitably qualified environmental consultant verifying that the site has been remediated in accordance with the NSW Environment Protection Authority's Contaminated Sites – Guidelines for Consultants Reporting on Contaminated Sites, the Contaminated Sites- Sampling Design Guidelines Contaminated Sites – Guidelines for the NSW Site Auditor Scheme and the recommendations of the Remedial Action Plan.

52. Wastewater System Approval

An on-site sewage management system, separately approved under the Local Government Act 1993, must be installed, commissioned and certified by a licensed plumber in accordance with Australian Standard 1547 – Onsite Domestic Wastewater Management (2000) and Environment & Health Protection Guidelines – Onsite Sewage Management for Single Households (1998).

53. Certification for Waste Management

A report(s) must be prepared by the principal contractor and submitted to the principal certifying authority prior to the issue of the Subdivision/Occupation Certificate, certifying that:

- a. A comparison of the estimated quantities of each waste type against the actual quantities of each waste type has been made;
- b. Any deviations from the Waste Management Plan (including, but not limited to, types of waste, quantities of waste, destinations of waste, reuse and recycling achieved) have been explained;
- c. All waste was taken to site(s) that were lawfully permitted to accept that waste;
- d. Either
 - i. The Waste Management Plan Section One – Demolition Stage and Section Three – Construction Stage were implemented and at least 60 % waste generated was reused or recycled; or
 - ii. If the 60% diversion from landfill was not achieved in the Demolition Stage and/or Construction Stage, the Report is to include the reasons why this occurred and certify that appropriate work practices were employed in the demolition and construction stages to implement the Waste Management Plan.
- e. The Report(s) is based on documentary evidence (i.e. tipping dockets/receipts from recycling depots, transfer stations and landfills, audits of procedures, Licence and/or development consent of site(s) receiving waste, etc) which have been attached to the Report.
- f. The author(s) of the report declared that the report is true in every particular and is not misleading.

54. Waste/Recycling Cupboard

Each dwelling/kitchen must be provided with an indoor waste/recycling cupboard for the interim storage of a minimum one day's waste/recycling generation with separate containers for general waste and recyclable materials.

55. Completion of Landscaping

A certificate must be provided by a practicing landscape architect, horticulturalist or person with similar qualifications and experience certifying that all required landscaping works have been satisfactorily completed in accordance with the approved landscape plans.

56. Food Premises

The fit out and operation of any part of the community building to be used for the manufacture, preparation or storage of food for sale, must be in accordance with *Australian Standard 4674-2004 – Design and fit out of food premises*, the *Food Act 2003*, and the *Food Regulation 2004*.

Note: Reference should also be made to the Food Safety Standards and the 'Safe Food Australia - A guide to the Food Safety Standards 2nd Edition January 2001'.

57. Grease Trap Installation

A permanent grease trap must be installed for all kitchen wastewater in accordance with the requirements of *Australian Standard 3500 1998, National Plumbing Code*. A licensed plumber must submit a Certificate of Compliance to the principal certifying authority certifying that all plumbing and drainage works have been carried out in accordance with the prescribed standards.

58. Kitchen Exhaust Installation

A kitchen exhaust system must be designed and installed to effectively prevent air pollution in accordance with the *Protection of the Environment Operations Act 1997*.

59. Works In Galston Road

Central median islands and pedestrian refuges are to be constructed in Galston and Mid-Dural Roads, subject to detailed design and approval process by the RTA and Council.

60. Works In Mid-Dural Road

Bus stops with bus shelters and connecting footways are to be constructed in Galston and Mid-Dural Roads, subject to detailed design and approval process by the RTA and Council.

61. s94 Infrastructure Contributions

The payment to Council of a contribution of \$716,470.95 for 76 additional dwellings towards the cost of infrastructure identified in Council's *Development Contributions Plan 2007-2011*.

*Note: * The contribution is calculated at the rate of \$9,953.56 x 76 Seniors Housing dwellings and includes a credit of \$40,000 for the site's two existing allotments as calculated at the 19 October 2011. The contribution will be adjusted from this date in accordance with the underlying consumer price index for subsequent financial quarters.*

It is recommended that you contact Council to confirm the value of the contribution prior to payment.

OPERATIONAL CONDITIONS

62. Noise

All noise generated by the proposed development must be attenuated to prevent levels of noise being emitted to adjacent premises which possess tonal, beating and similar characteristics or which exceeds background noise levels by more than 5dB(A).

63. Site Security

Site security measures implemented on the property, including electronic gates, must not prevent access to the bin collection points by waste removal services.

64. Commercial Waste

The Community Centre tenants must keep written evidence on site of a valid contract with a licensed waste contractor(s) for the regular collection and disposal of the waste and recyclables that are generated at the Community Centre.

65. Landscape Establishment and Maintenance - ongoing

The landscape works must be maintained into the future to ensure the establishment and successful growth of plant material to meet the intent of the landscape design. This shall include but not be limited to watering, weeding, replacement of failed plant material and promoting the growth of plants through standard industry practices.

CONDITIONS OF CONCURRENCE – ROADS & TRAFFIC AUTHORITY

The following conditions of consent are from the nominated State Agency pursuant to Section 79b of the *Environmental Planning and Assessment Act 1979* and must be complied with to the satisfaction of that Agency.

66. A Road Occupancy Licence should be obtained from the RTA for any works that may impact on traffic flow on Galston Road and Mid-Dural Road during construction activities.
67. Any redundant driveways shall be removed and replaced with a footway.
68. Road traffic noise should be mitigated in accordance with the EPA Environmental Criteria for Road Traffic Noise.
69. The driveways are to be constructed to only allow left in / left out vehicular access to the site.
70. To reinforce the left in / left out vehicular access, a central median must be constructed for a minimum of 15 metres on both sides of the driveway. The central median is to be a minimum of 600mm wide and constructed prior to occupation.
71. The design and construction of the median to be to RTA, Austroads and Australian Standards specifications.
72. The design is to be submitted to the RTA for approval prior to the issue of the Construction Certificate
73. The applicant to provide kerb and gutter to the full frontage of the property on Mid-Dural Road and Galston Road.
74. A footpath is to be provided to the full frontage of the property on Mid-Dural Road and Galston Road.
75. A pedestrian refuge is to be provided on Mid-Dural Road and Galston Road. Design to Austroads and RTA specification. Plans must be submitted to the RTA prior to the Construction Certificate.
76. Bus stops to be provided on both sides of Mid-Dural Road and Galston road. These stops are to be designed in accordance with Austroads.
77. All signposting on Mid-Dural Road and Galston Road is to be approved by the RTA prior to installation, including but not limited to 'No Stopping' restrictions at the pedestrian refuge and 'Bus Zone' signage.
78. A minimum of two bus shelters must be provided.

- END OF CONDITIONS -

ADVISORY NOTES

The following information is provided for your assistance to ensure compliance with the Environmental Planning and Assessment Act 1979, Environmental Planning and Assessment Regulation 2000, other relevant legislation and Council's policies and specifications. This information does not form part of the conditions of development consent pursuant to Section 80A of the Act.

Environmental Planning and Assessment Act, 1979 Requirements

- The Environmental Planning and Assessment Act, 1979 requires:
- The issue of a construction certificate prior to the commencement of any works. Enquiries regarding the issue of a construction certificate can be made to Council's Customer Services Branch on 9847 6760.
- A principal certifying authority to be nominated and Council notified of that appointment prior to the commencement of any works.
- Council to be given at least two days written notice prior to the commencement of any works.
- Mandatory inspections of nominated stages of the construction inspected.
- An occupation certificate to be issued before occupying any building or commencing the use of the land.

Long Service Levy

In accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986*, a 'Long Service Levy' must be paid to the *Long Service Payments Corporation* or *Hornsby Council*.

Note: The rate of the Long Service Levy is 0.35% of the total cost of the work.

Note: Hornsby Council requires the payment of the Long Service Levy prior to the issue of a construction certificate.

Tree Preservation Order

To ensure the maintenance and protection of the existing natural environment, it is an offence to ringbark, cut down, top, lop, remove, wilfully injure or destroy a tree outside 3 metres of the approved building envelope without the prior written consent from Council.

Note: A tree is defined as a single or multi-trunked wood perennial plant having a height of not less than three (3) metres, and which develops many branches,

usually from a distance of not less than one (1) metre from the ground, but excluding any plant which, in its particular location, is a noxious plant declared as such pursuant to the Noxious Weeds Act 1993. This definition of 'tree' includes any and all types of Palm trees.

All distances are determined under Australian Standard AS4970-2009 "Protection of Trees on Development Sites".

Fines may be imposed for non-compliance with Council's *Tree Preservation Order*.

Dial Before You Dig

Prior to commencing any works, the applicant is encouraged to contact *Dial Before You Dig* on 1100 or www.dialbeforeyoudig.com.au for free information on potential underground pipes and cables within the vicinity of the development site.

Asbestos Warning

Should asbestos or asbestos products be encountered during demolition or construction works you are advised to seek advice and information should be prior to disturbing the material. It is recommended that a contractor holding an asbestos-handling permit (issued by *WorkCover NSW*) be engaged to manage the proper handling of the material. Further information regarding the safe handling and removal of asbestos can be found at:

www.environment.nsw.gov.au
www.nsw.gov.au/fibro
www.adfa.org.au
www.workcover.nsw.gov.au

Alternatively, telephone the *WorkCover* Asbestos and Demolition Team on 8260 5885.

House Numbering

House numbering can only be authorised by Council. Before proceeding to number each premise in the development, the allocation of numbers is required to be obtained from Council's Planning Division. The authorised numbers are required to be displayed in a clear manner at or near the main entrance to each premise.

Council Notification – Food Premises

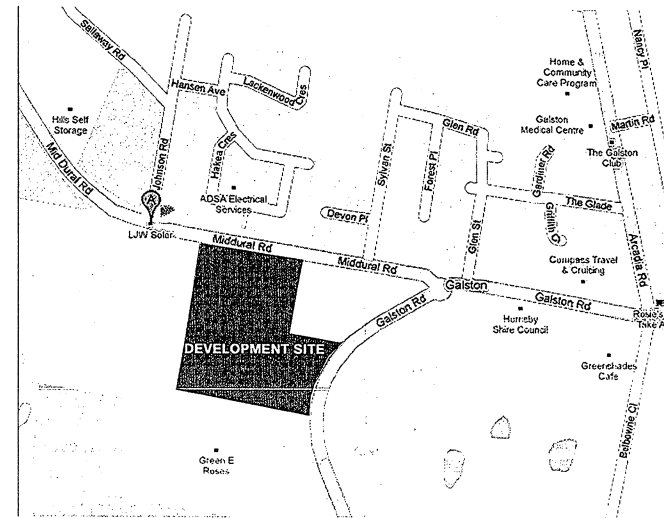
Prior to the commencement of the business, the operator is requested to contact Council's Environmental Health Team to arrange an inspection for compliance against the relevant legislation and guidelines outlined in this approval.

Note: Council's Environmental Health Officer can be contacted on 02 9847 6745.

GALSTON RETIREMENT VILLAGE

GALSTON ROAD – GALSTON GRANGE

- DA01a LOCATION PLAN
- DA02a SITE PLAN – 76 DWELLINGS
- DA04a TYPICAL CLUSTER
- DA05a TYPICAL ROOF PLAN
- DA10a STREET FRONT ELEVATIONS
- DA11a ELEVATIONS EAST BOUNDARY
- DA12a ELEVATIONS WEST BOUNDARY
- DA13a NORTH ELEVATIONS THE AVENUE
- DA14a ELEVATIONS SOUTH BOUNDARY
- DA15a TYPICAL ELEVATIONS
- DA16a TYPICAL ELEVATIONS
- DA17a COMMUNITY CENTRE
- DA18a SECTIONS SA & SB
- DA19a SECTIONS SC & SD
- DA20a IRRIGATION AREAS
- DA30a DWELLING A1
- DA31a DWELLING A2
- DA32a DWELLING B1
- DA33a DWELLING B2
- DA34a DWELLING C1
- DA35a DWELLING C2
- DA36a DWELLING D
- DA37a DWELLING E
- DA38a DWELLING F
- DA39a DWELLING G
- DA40a DWELLING H
- DA41a DWELLING I
- DA42a DWELLING G



LOCATION PLAN



PERSPECTIVE

GALSTON GRANGE
392 GALSTON ROAD
GALSTON

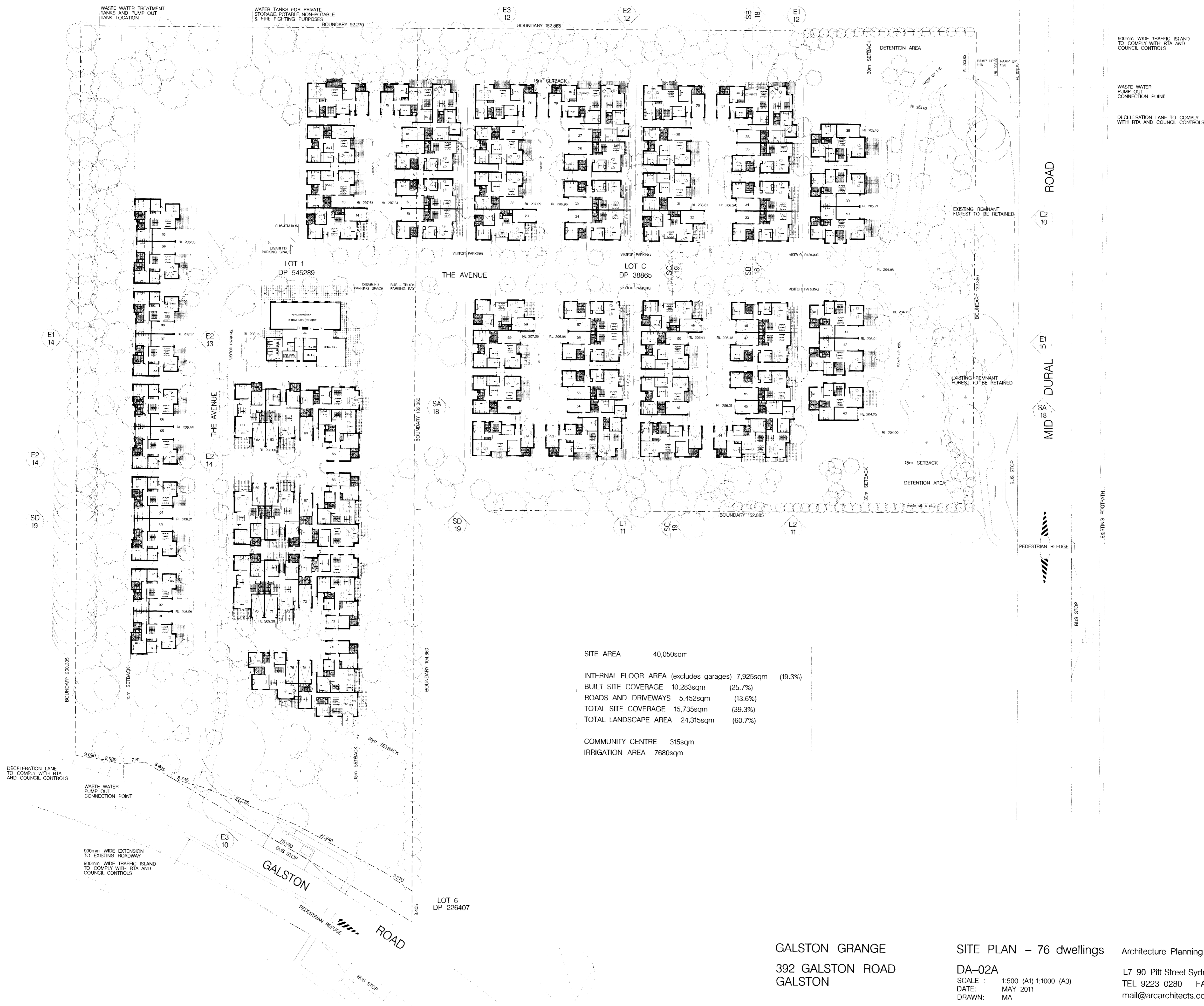
LOCATION – SITE PLAN

Architecture Planning Urban Design

DA-01A
SCALE : NTS
DATE: MAY 2011
DRAWN: MA

L7 90 Pitt Street Sydney NSW 2000
TEL 9223 0280 FAX 9223 0283
mail@arcarchitects.com.au





| | |
|--|-------------------|
| SITE AREA | 40,050sqm |
| INTERNAL FLOOR AREA (excludes garages) | 7,925sqm (19.3%) |
| BUILT SITE COVERAGE | 10,283sqm (25.7%) |
| ROADS AND DRIVEWAYS | 5,452sqm (13.6%) |
| TOTAL SITE COVERAGE | 15,735sqm (39.3%) |
| TOTAL LANDSCAPE AREA | 24,315sqm (60.7%) |
| COMMUNITY CENTRE | 315sqm |
| IRRIGATION AREA | 7680sqm |

GALSTON GRANGE
 392 GALSTON ROAD
 GALSTON

SITE PLAN – 76 dwellings
 DA-02A
 SCALE : 1:500 (A1) 1:1000 (A3)
 DATE: MAY 2011
 DRAWN: MA

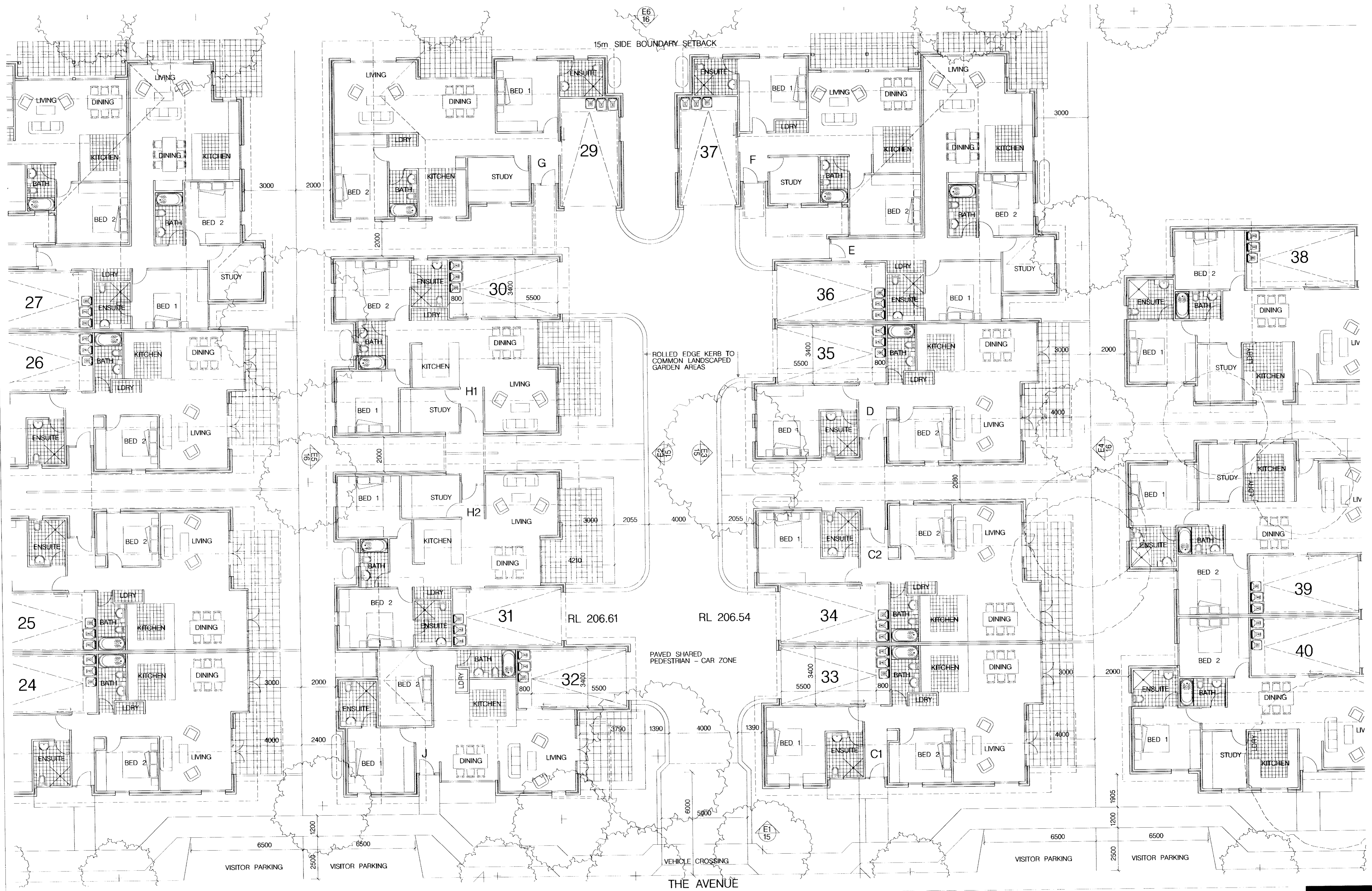
Architecture Planning Urban Design
 L7 90 Pitt Street Sydney NSW 2000
 TEL 9223 0280 FAX 9223 0283
 mail@arcarchitects.com.au



900mm WIDE TRAFFIC ISLAND TO COMPLY WITH RTA AND COUNCIL CONTROLS
 WASTE WATER PUMP OUT CONNECTION POINT
 DECELERATION LANE TO COMPLY WITH RTA AND COUNCIL CONTROLS

DECELERATION LANE TO COMPLY WITH RTA AND COUNCIL CONTROLS

900mm WIDE EXTENSION TO EXISTING ROADWAY
 900mm WIDE TRAFFIC ISLAND TO COMPLY WITH RTA AND COUNCIL CONTROLS

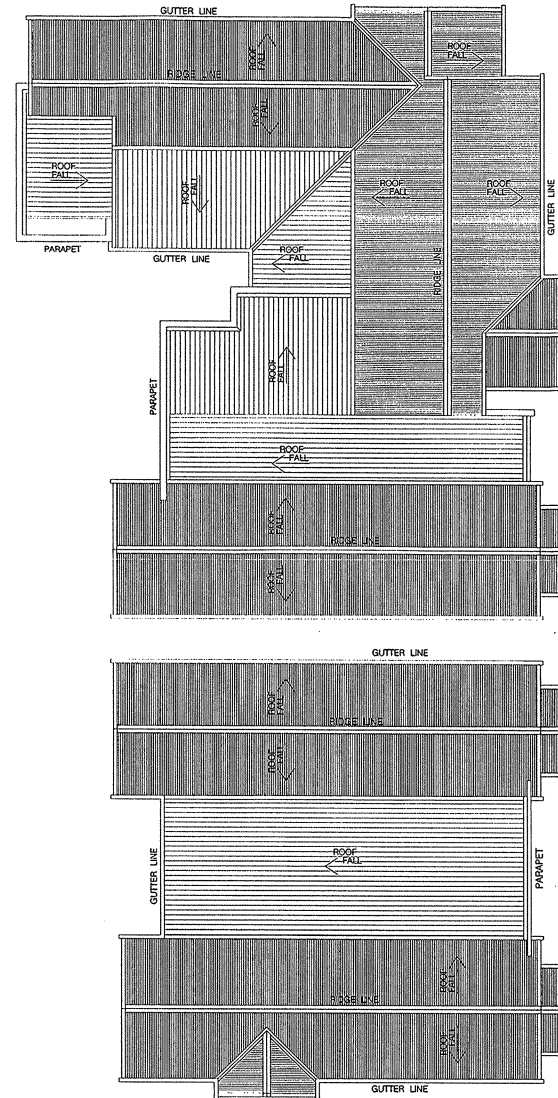
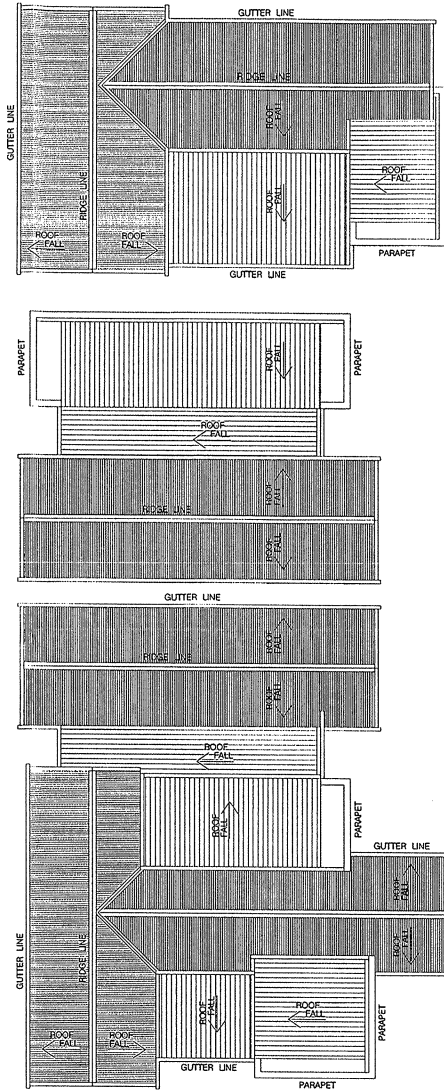


PART PLAN
 GALSTON GRANGE
 392 GALSTON ROAD
 GALSTON

TYPICAL CLUSTER
 DA-04A
 SCALE : 1:100 (A1) 1:200 (A3)
 DATE : MAY 2011
 DRAWN : MA

Architecture Planning Urban Design
 L7 90 Pitt Street Sydney NSW 2000
 TEL 9223 0280 FAX 9223 0283
 mail@arcarchitects.com.au



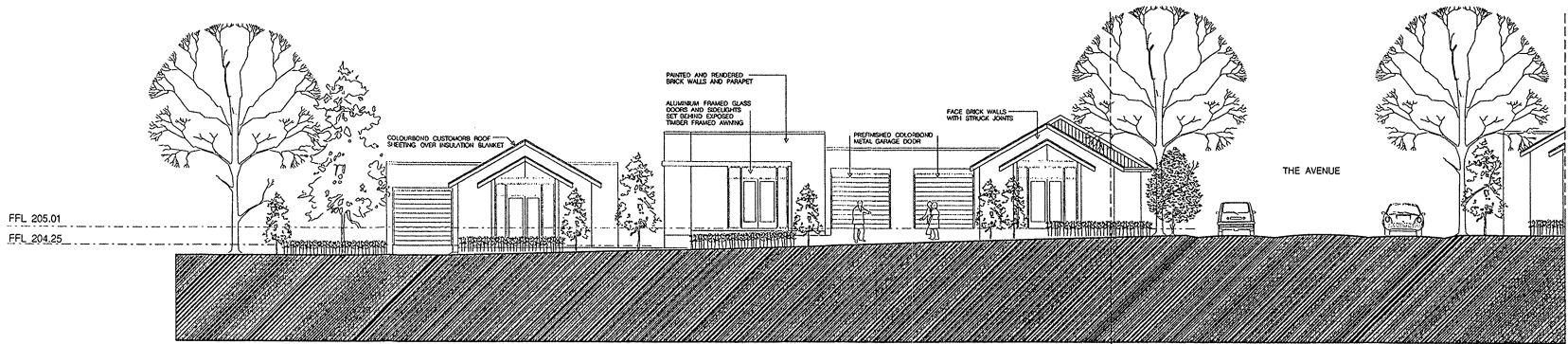


PART PLAN
 GALSTON GRANGE
 392 GALSTON ROAD
 GALSTON

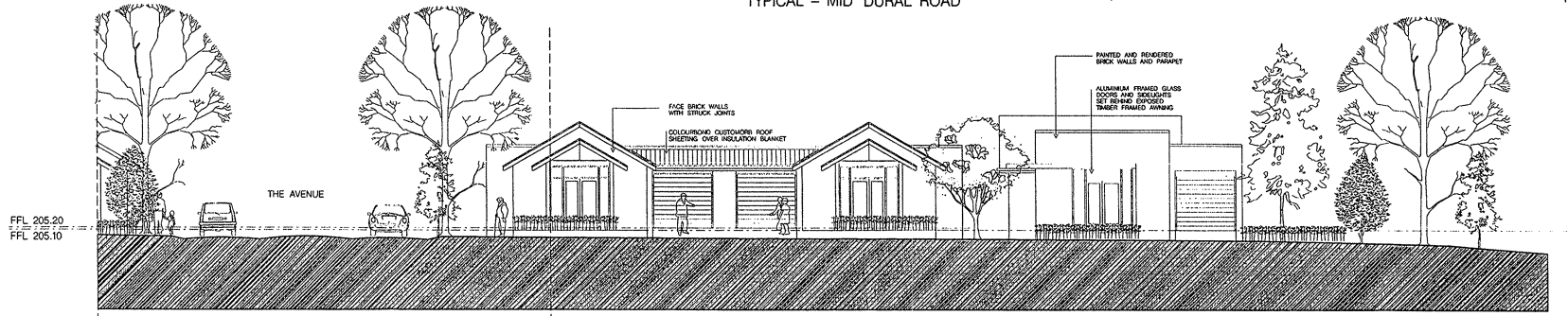
TYPICAL ROOF PLAN
 DA-05A
 SCALE : 1:100 (A1) 1:200 (A3)
 DATE : MAY 2011
 DRAWN : MA

Architecture Planning Urban Design
 L7 90 Pitt Street Sydney NSW 2000
 TEL 9223 0280 FAX 9223 0283
 mail@arcarchitects.com.au

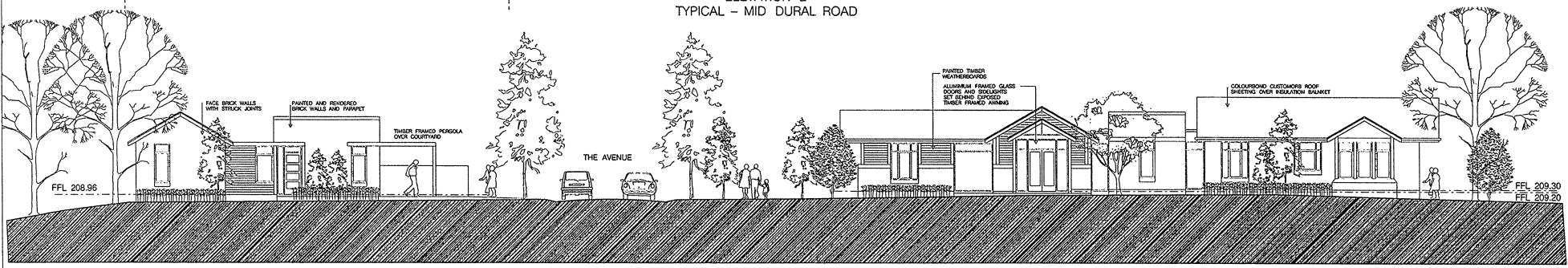




ELEVATION 1
TYPICAL - MID DURAL ROAD



ELEVATION 2
TYPICAL - MID DURAL ROAD



ELEVATION 3
GALSTON ROAD

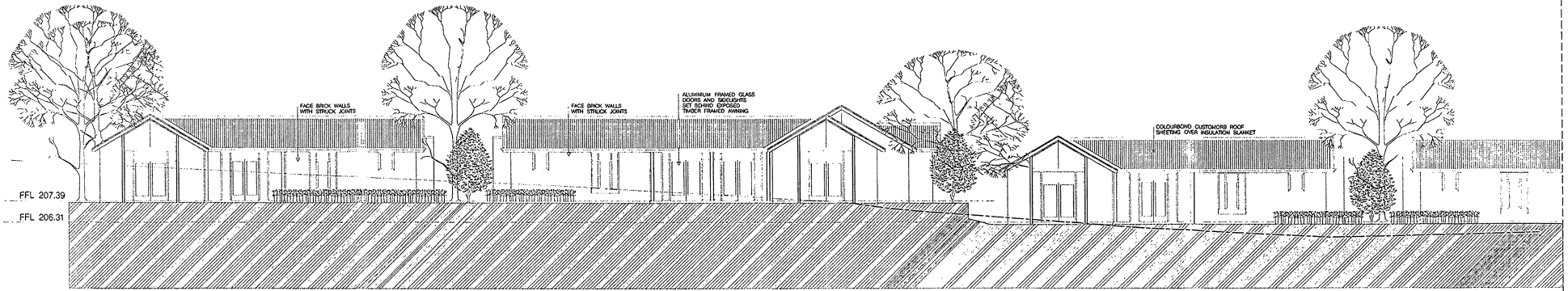
GALSTON GRANGE
392 GALSTON ROAD
GALSTON

STREET FRONT ELEVATIONS Architecture Planning Urban Design

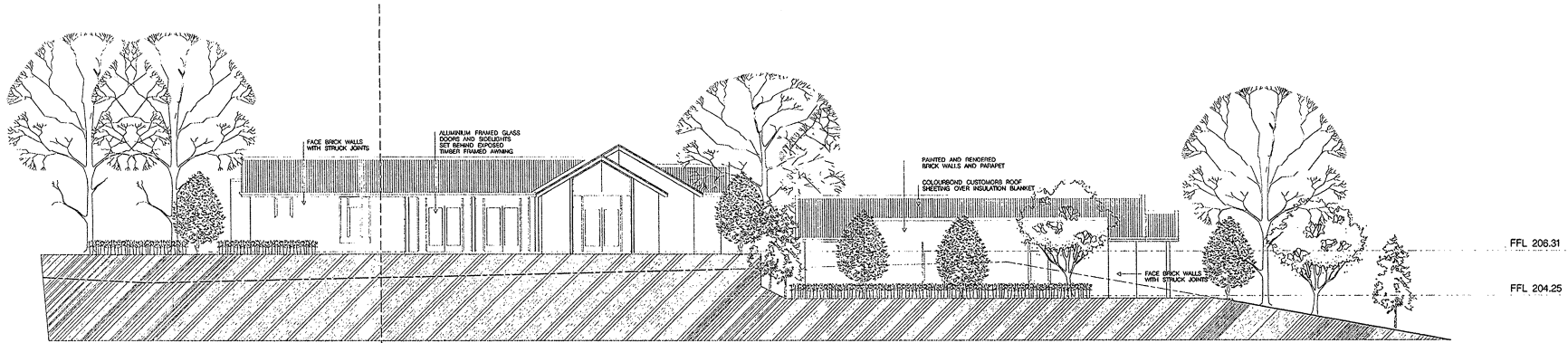
DA-10A
SCALE : 1:100 (A1) 1:200 (A3)
DATE : MAY 2011
DRAWN: MA

L7 90 Pitt Street Sydney NSW 2000
TEL 9223 0290 FAX 9223 0283
mail@arcarchitects.com.au





ELEVATION 1
THE AVENUE EAST - REAR



ELEVATION 2
THE AVENUE EAST - REAR

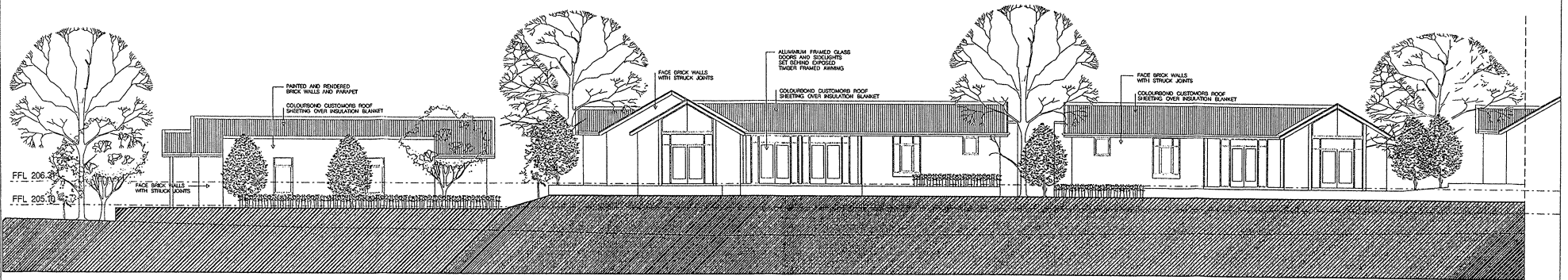
GALSTON GRANGE
392 GALSTON ROAD
GALSTON

EAST BOUNDARY ELEVATIONS Architecture Planning Urban Design

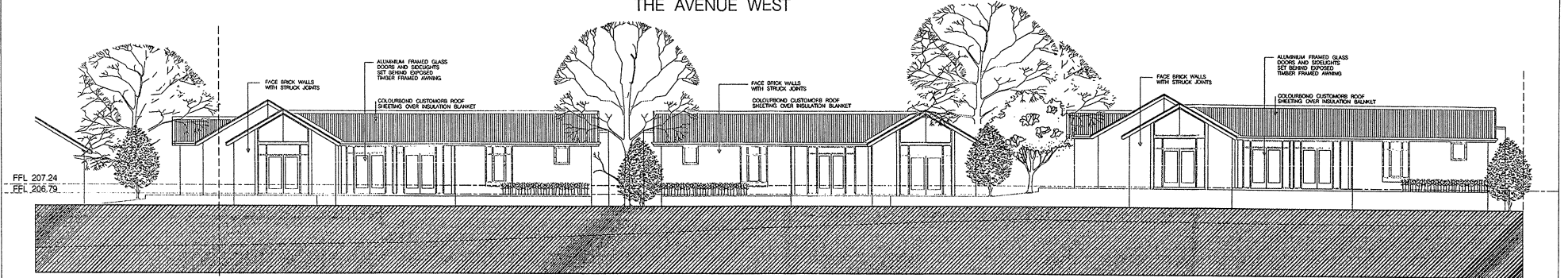
DA-11A
SCALE : 1:100 (A1) 1:200 (A3)
DATE: MAY 2011
DRAWN: MA

L7 90 Pitt Street Sydney NSW 2000
TEL 9223 0280 FAX 9223 0283
mail@arcarchitects.com.au

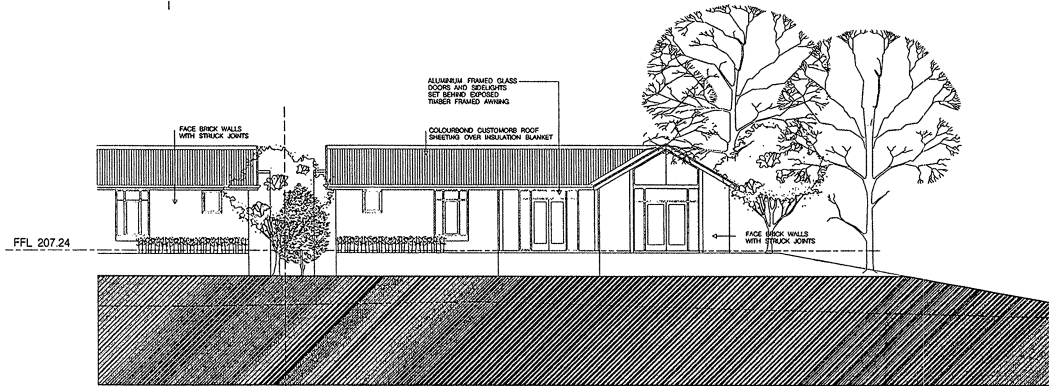




ELEVATION 1
THE AVENUE WEST



ELEVATION 2
THE AVENUE WEST



ELEVATION 3
THE AVENUE WEST

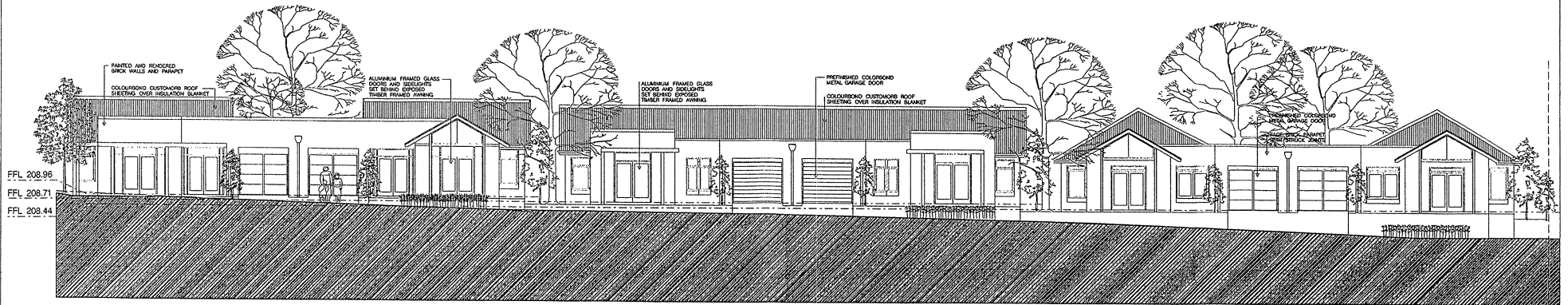
GALSTON GRANGE
392 GALSTON ROAD
GALSTON

WEST BOUNDARY ELEVATIONS Architecture Planning Urban Design

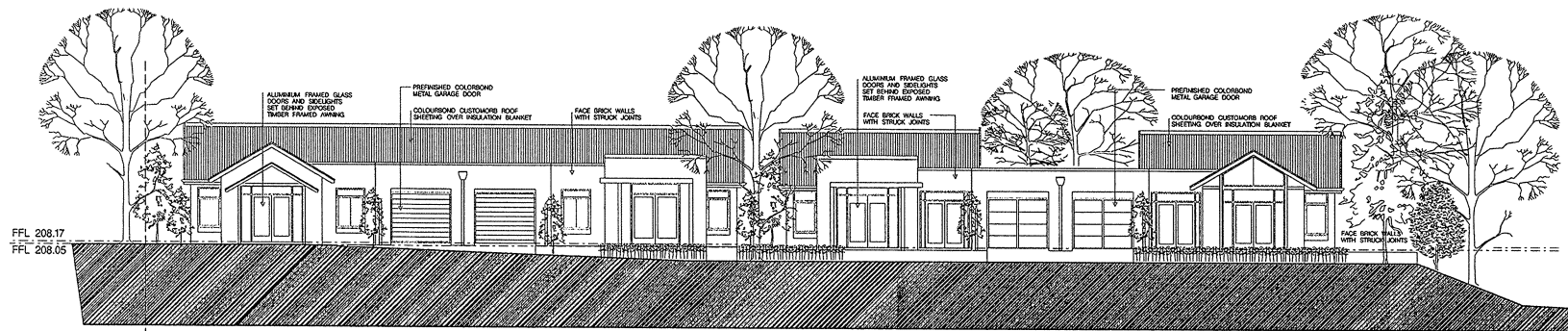
DA-12A
SCALE : 1:100 (A1) 1:200 (A3)
DATE: MAY 2011
DRAWN: MA

L7 90 Pitt Street Sydney NSW 2000
TEL 9223 0280 FAX 9223 0283
mail@arcarchitects.com.au





ELEVATION 1
THE AVENUE NORTH



ELEVATION 2
THE AVENUE NORTH

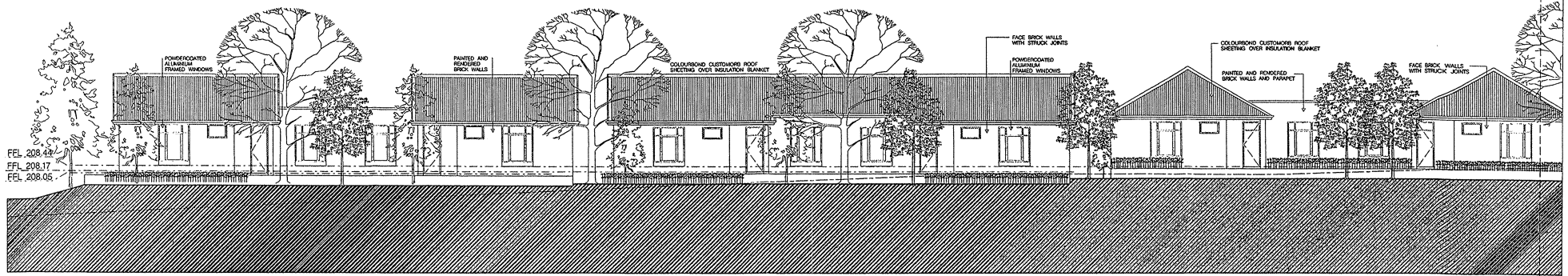
GALSTON GRANGE
392 GALSTON ROAD
GALSTON

NORTH ELEVATIONS
THE AVENUE

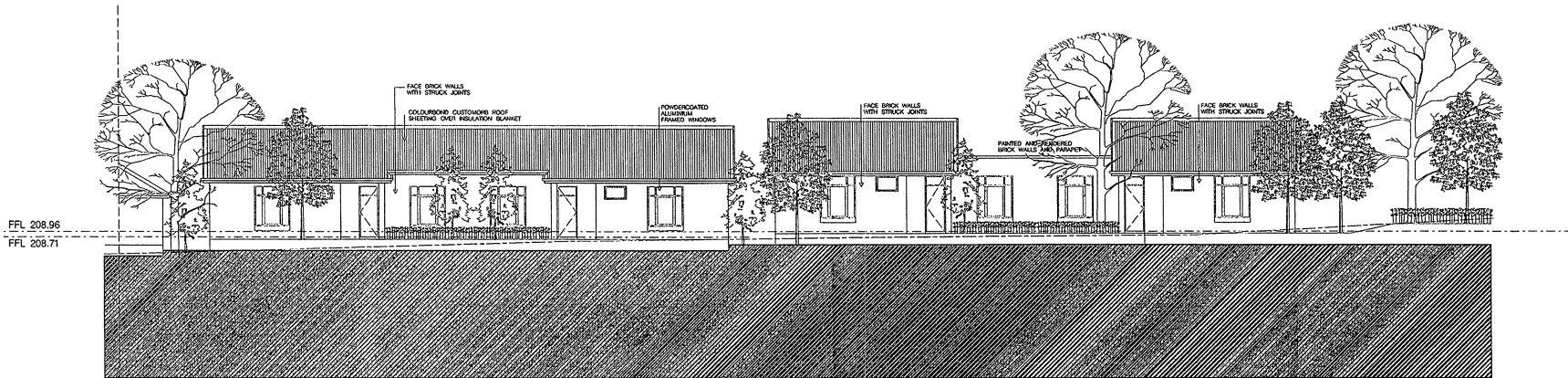
DA-13A
SCALE : 1:100 (A1) 1:200 (A3)
DATE : MAY 2011
DRAWN: MA

Architecture Planning Urban Design
L7 90 Pitt Street Sydney NSW 2000
TEL 9223 0280 FAX 9223 0283
mail@arcarchitects.com.au





ELEVATION 1
THE AVENUE SOUTH - REAR



ELEVATION 2
THE AVENUE SOUTH - REAR

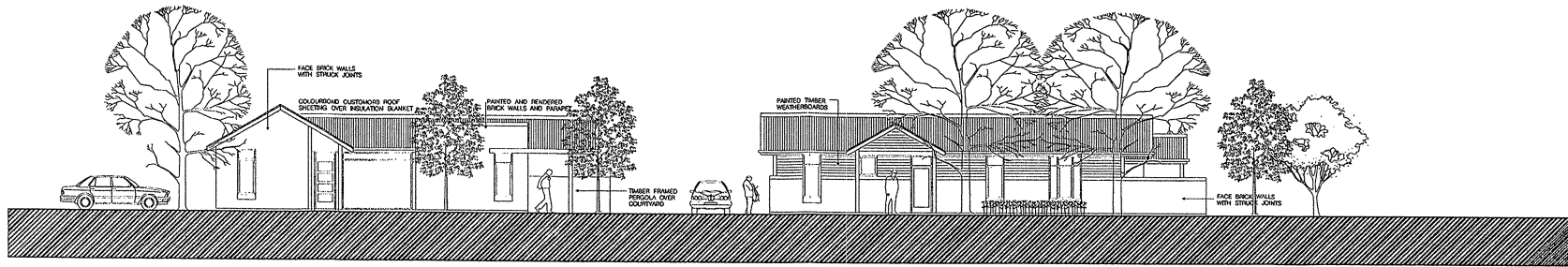
GALSTON GRANGE
392 GALSTON ROAD
GALSTON

SOUTH ELEVATIONS
THE AVENUE

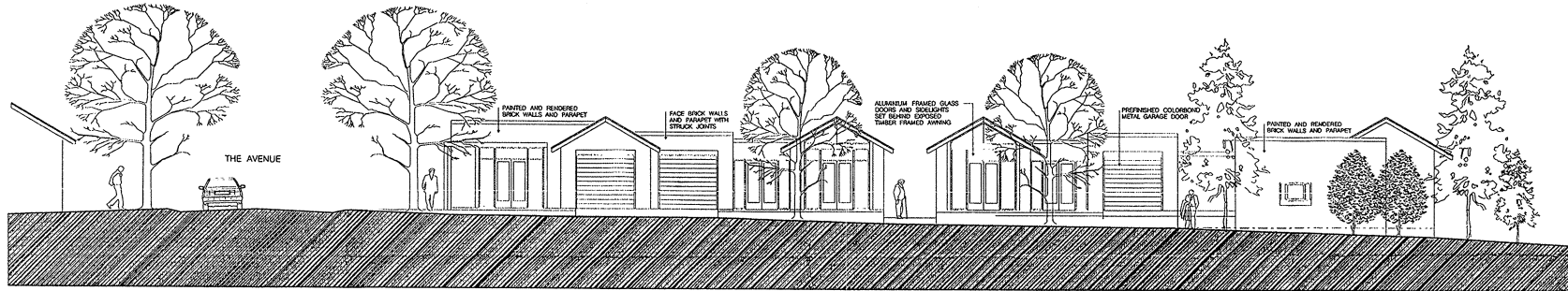
DA-14A
SCALE : 1:100 (A1) 1:200 (A3)
DATE: MAY 2011
DRAWN: MA

Architecture Planning Urban Design
L7 90 Pitt Street Sydney NSW 2000
TEL 9223 0280 FAX 9223 0283
mail@arcarchitects.com.au

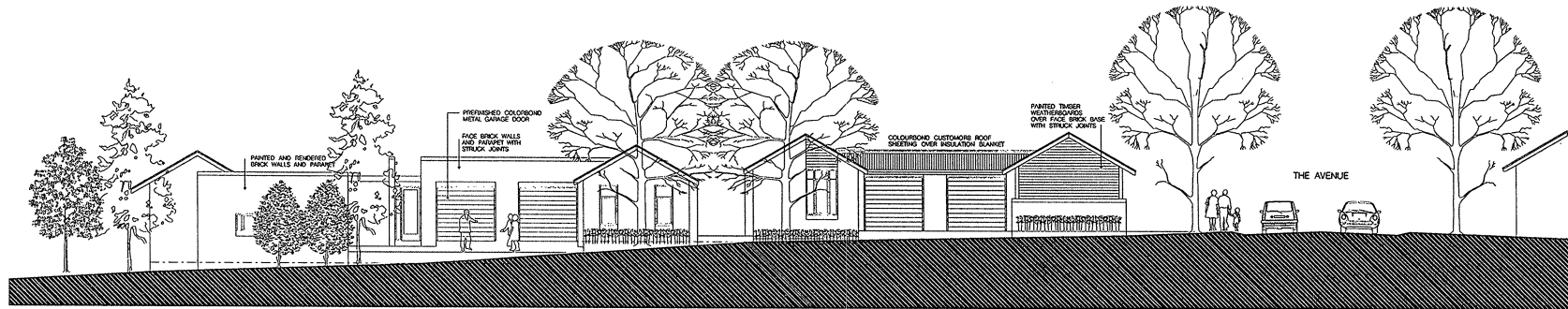




ELEVATION 1 THE AVENUE



ELEVATION 2 TYPICAL COURT NORTH ELEVATION



ELEVATION 3 TYPICAL COURT SOUTH ELEVATION

GALSTON GRANGE
392 GALSTON ROAD
GALSTON

TYPICAL ELEVATIONS

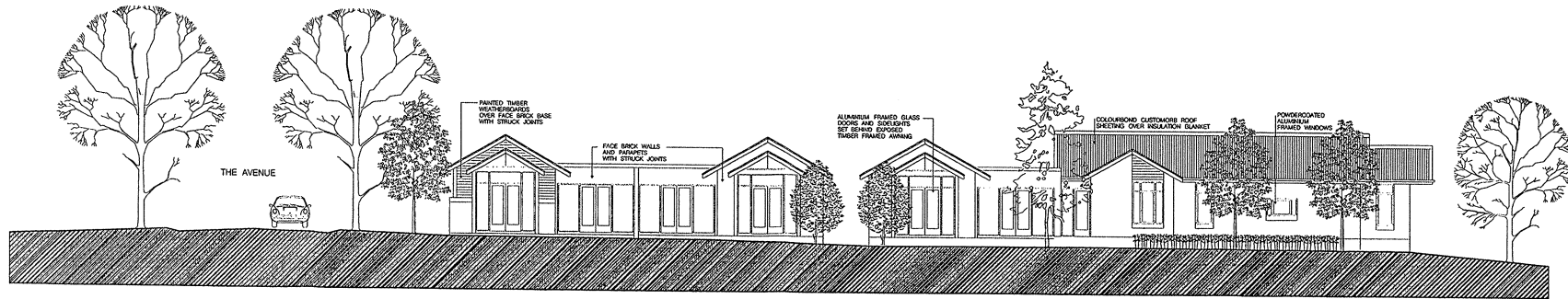
Architecture Planning Urban Design

DA-15A

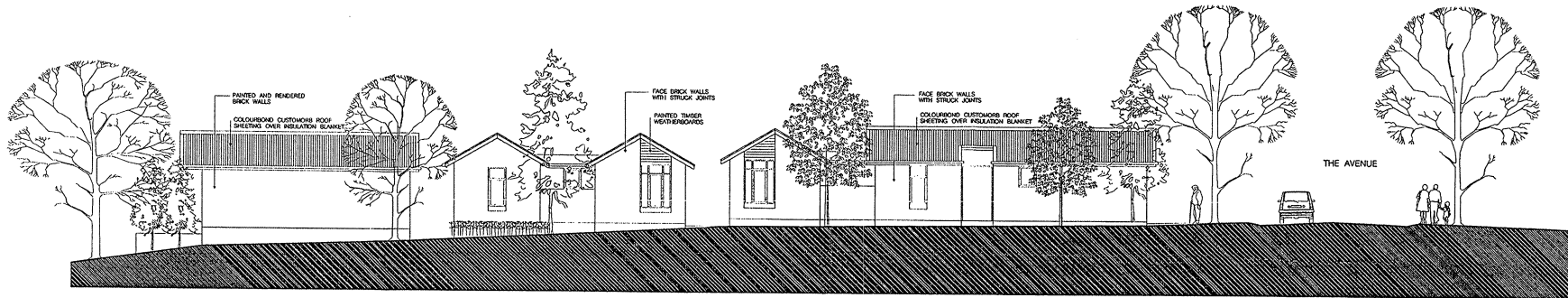
SCALE : 1:100 (A1) 1:200 (A3)
DATE: MAY 2011
DRAWN: MA

L7 90 Pitt Street Sydney NSW 2000
TEL 9223 0280 FAX 9223 0283
mail@arcarchitects.com.au

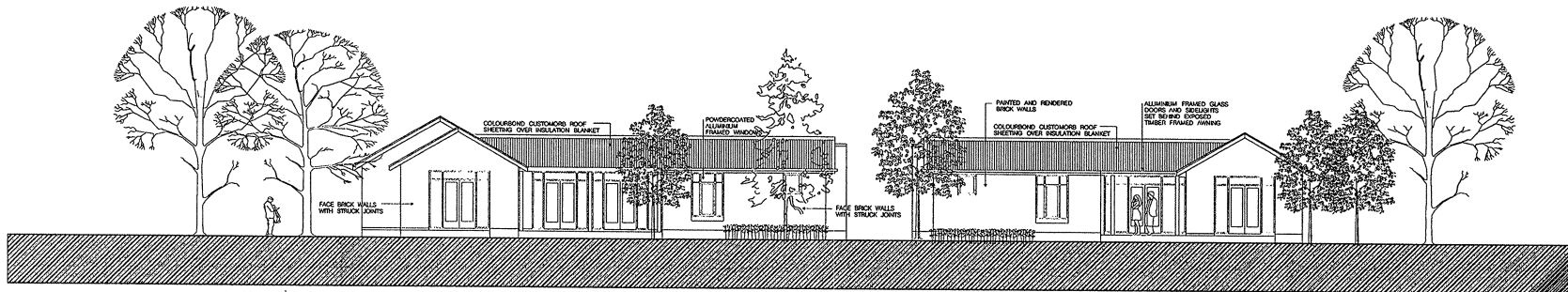




ELEVATION 4 TYPICAL NORTH ELEVATION



ELEVATION 5 TYPICAL SOUTH ELEVATION



ELEVATION 6 TYPICAL WEST BOUNDARY ELEVATION

GALSTON GRANGE
392 GALSTON ROAD
GALSTON

TYPICAL ELEVATIONS

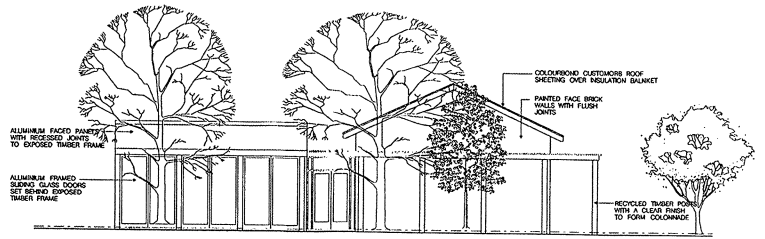
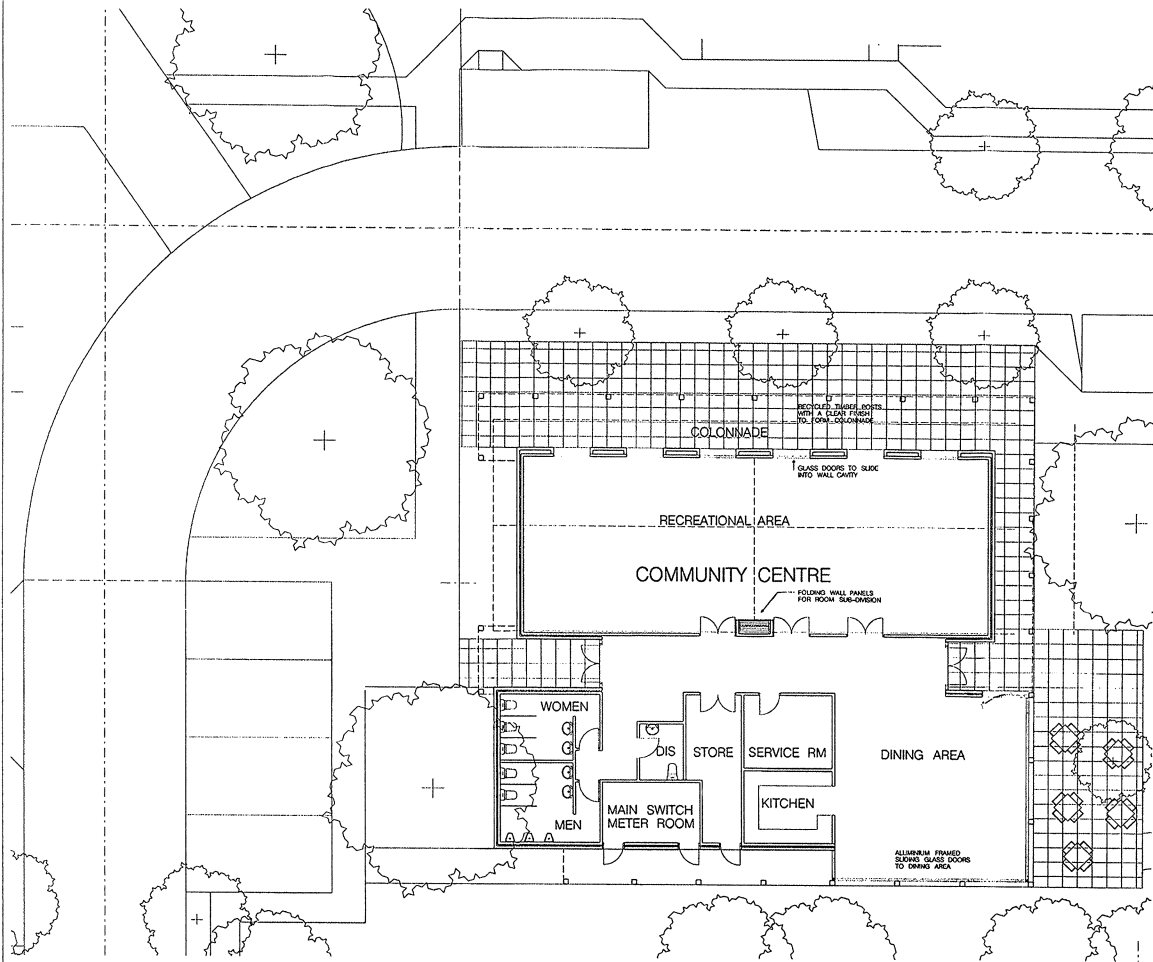
Architecture Planning Urban Design

DA-16A

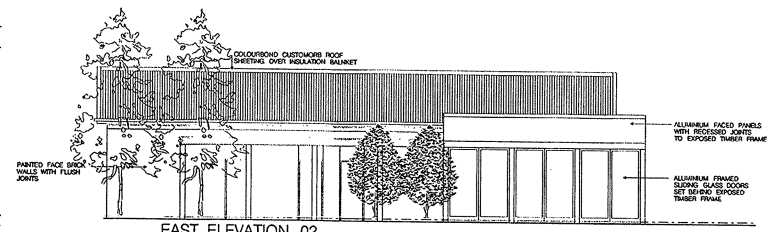
SCALE : 1:100 (A1) 1:200 (A3)
DATE: MAY 2011
DRAWN: MA

L7 90 Pitt Street Sydney NSW 2000
TEL 9223 0280 FAX 9223 0283
mail@arcarchitects.com.au

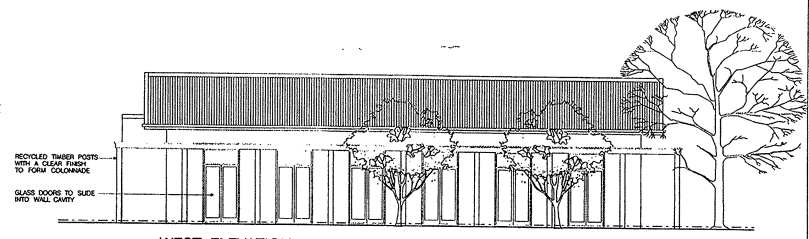




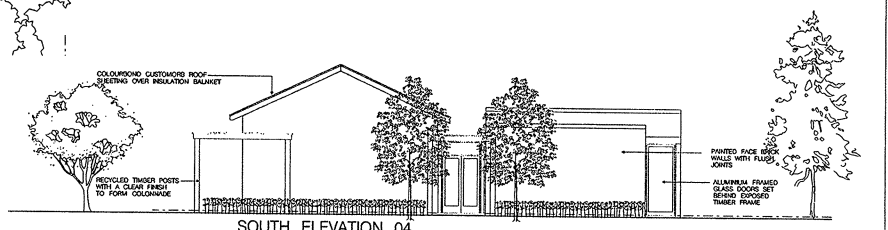
NORTH ELEVATION 01



EAST ELEVATION 02



WEST ELEVATION 03



SOUTH ELEVATION 04

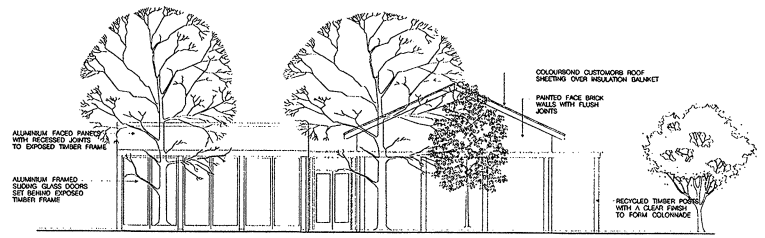
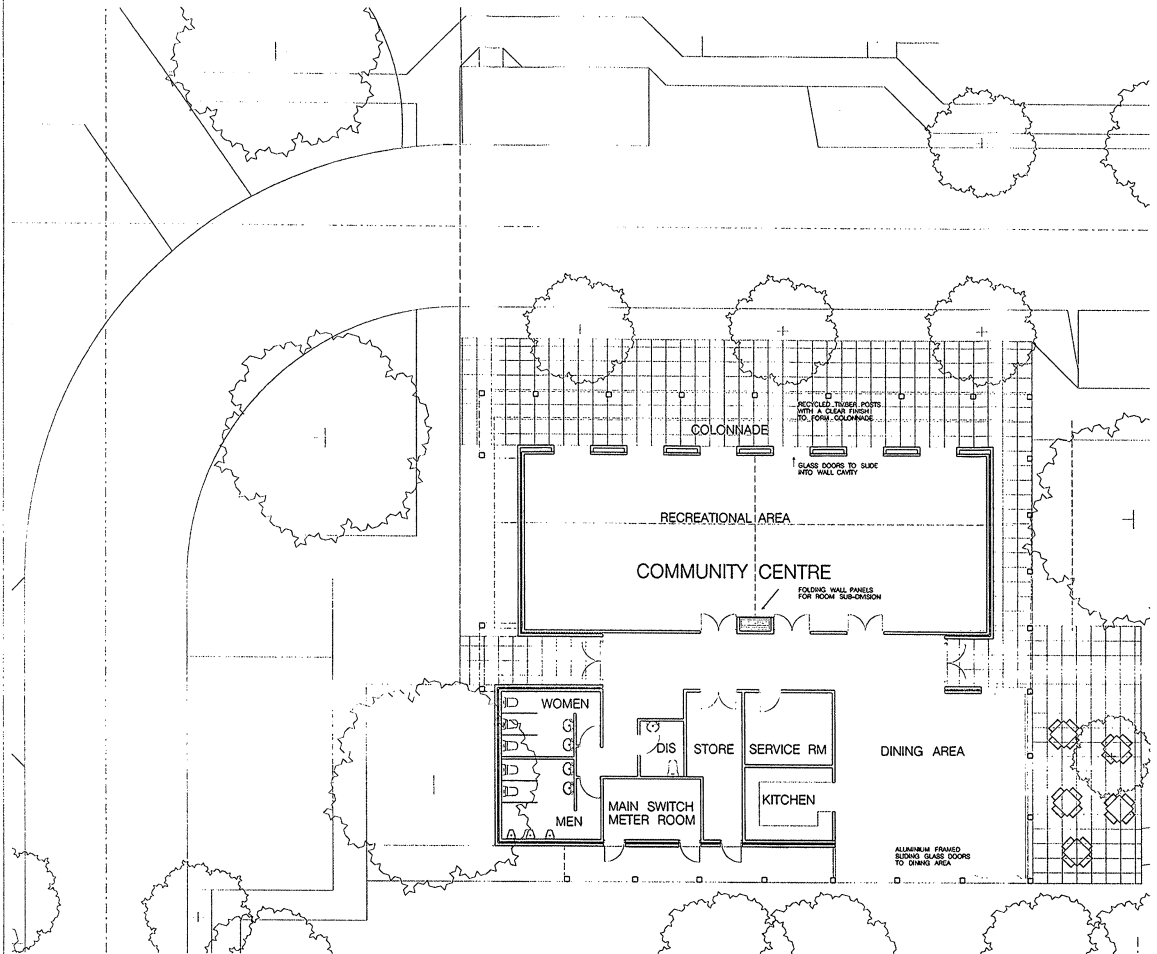


ELEVATIONS
 GALSTON GRANGE
 392 GALSTON ROAD
 GALSTON

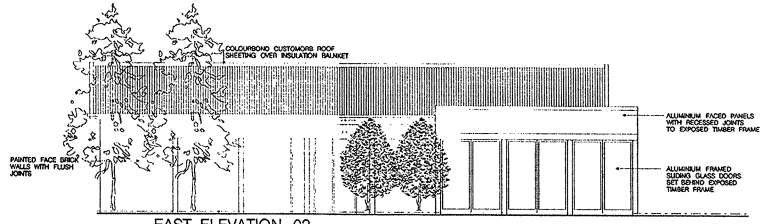
COMMUNITY CENTRE
 DA-17
 SCALE : 1:100 (A1) 1:200 (A3)
 DATE: 12 JULY 2010
 DRAWN: MA

Architecture Planning Urban Design
 L7 90 Pitt Street Sydney NSW 2000
 TEL 9223 0280 FAX 9223 0283
 mail@arcarchitects.com.au

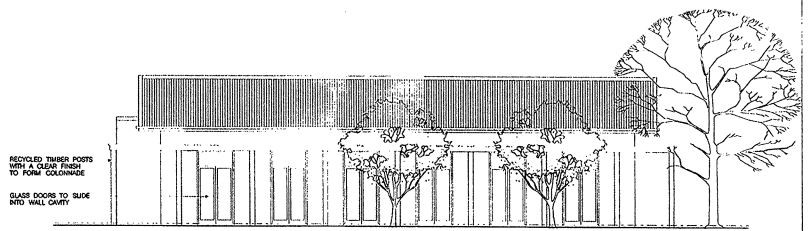




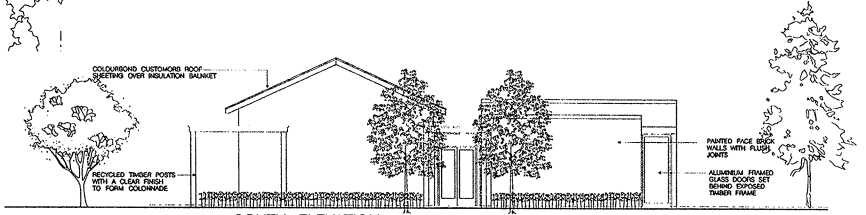
NORTH ELEVATION 01



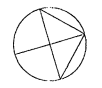
EAST ELEVATION 02



WEST ELEVATION 03



SOUTH ELEVATION 04

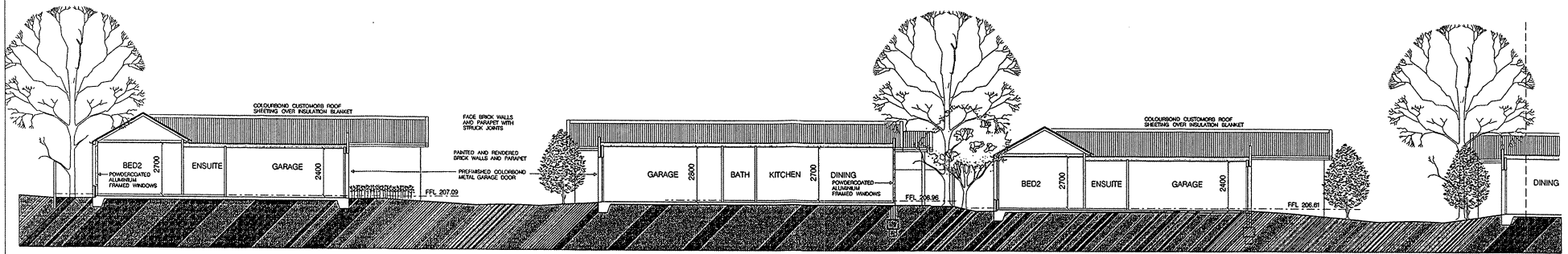


ELEVATIONS
 GALSTON GRANGE
 392 GALSTON ROAD
 GALSTON

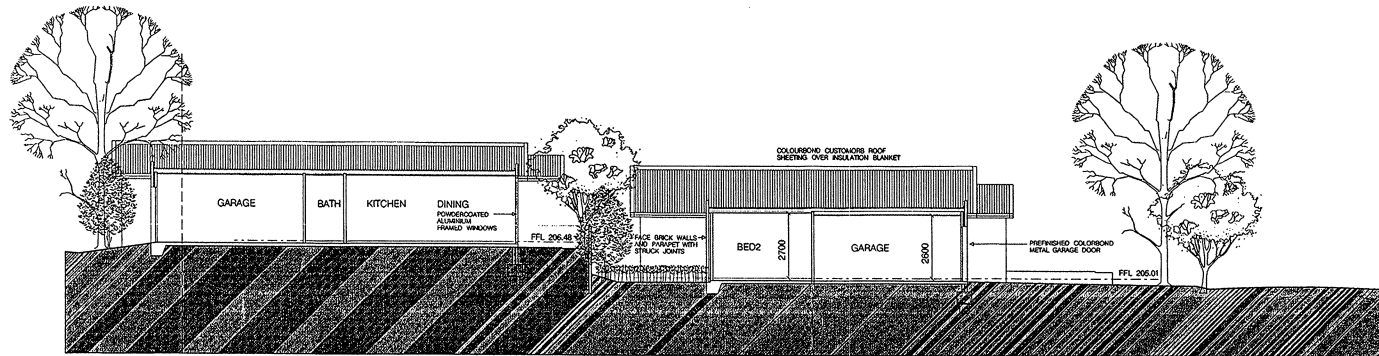
COMMUNITY CENTRE
 DA-17A
 SCALE : 1:100 (A1) 1:200 (A3)
 DATE: MAY 2011
 DRAWN: MA

Architecture Planning Urban Design
 L7 90 Pitt Street Sydney NSW 2000
 TEL 9223 0280 FAX 9223 0283
 mail@arcarchitects.com.au

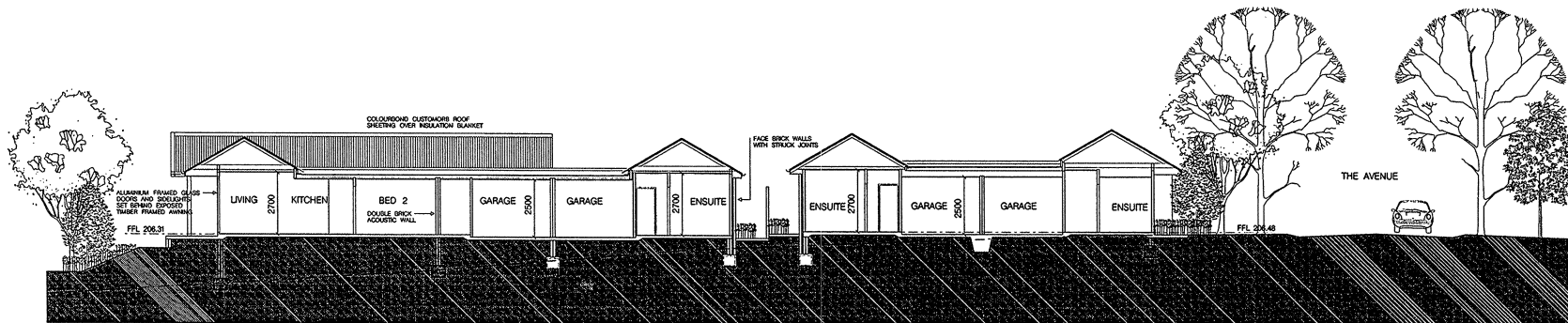




SECTION SA - 01



SECTION SA - 02



SECTION SB

GALSTON GRANGE
392 GALSTON ROAD
GALSTON

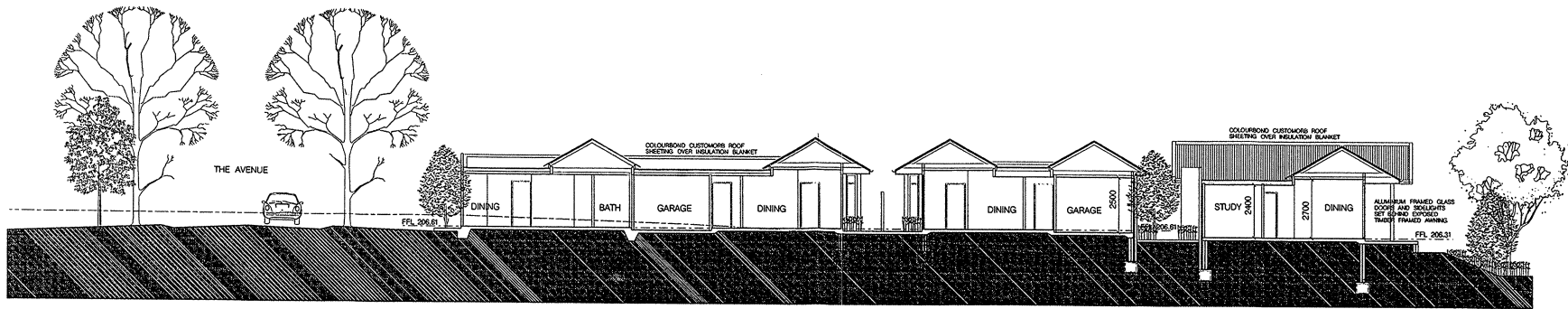
SECTIONS SA & SB

Architecture Planning Urban Design

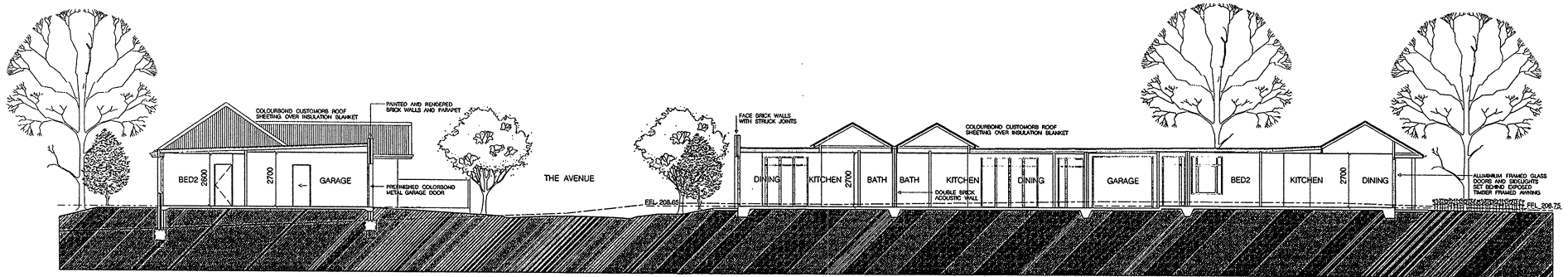
DA-18A
SCALE : 1:100 (A1) 1:200 (A3)
DATE: MAY 2011
DRAWN: CN

L7 90 Pitt Street Sydney NSW 2000
TEL 9223 0280 FAX 9223 0283
mail@arcarchitects.com.au





SECTION SC



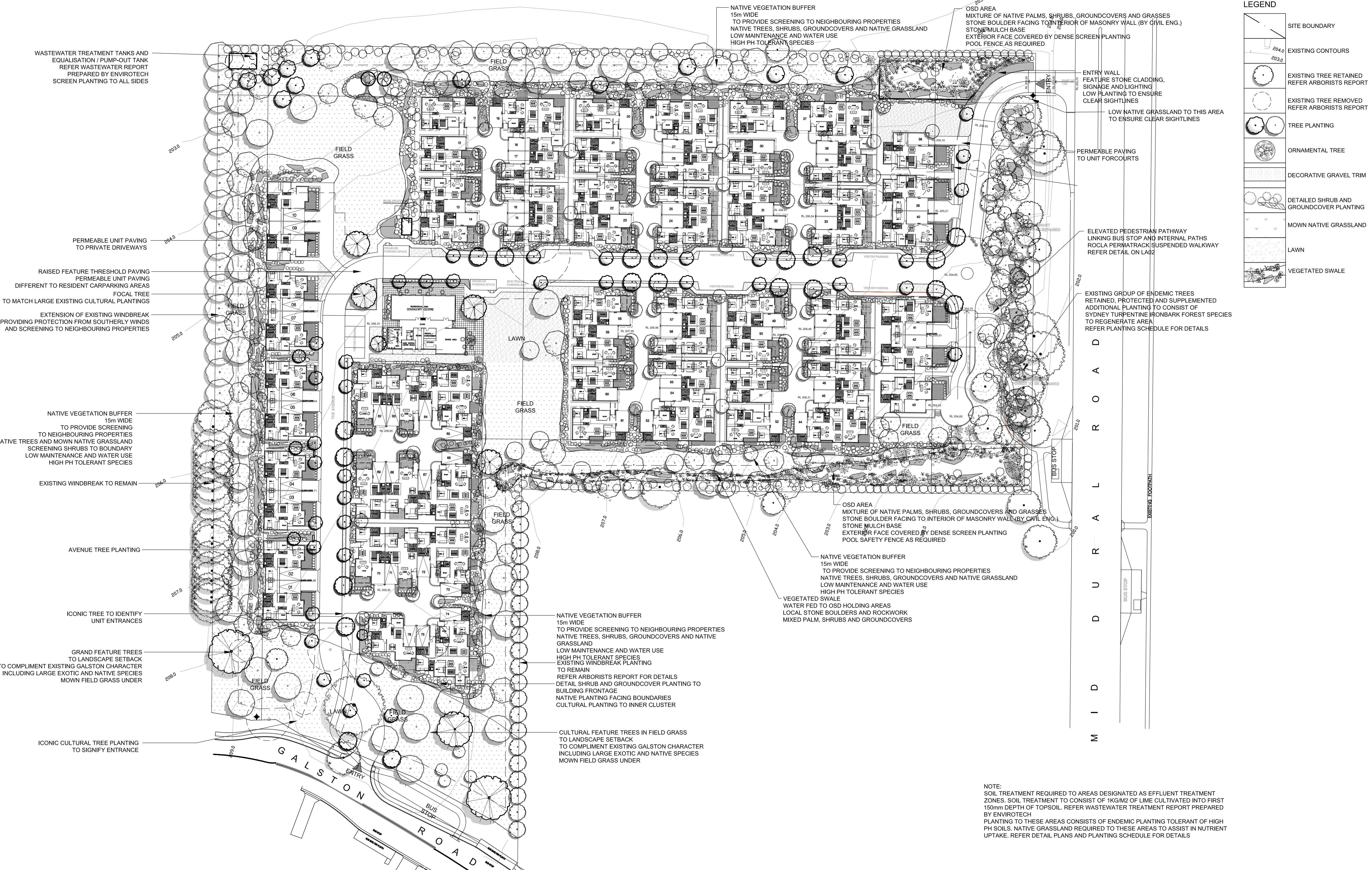
SECTION SD

GALSTON GRANGE
392 GALSTON ROAD
GALSTON

SECTIONS C & D
DA-19A
SCALE : 1:100 (A1) 1:200 (A3)
DATE: MAY 2011
DRAWN: CN

Architecture Planning Urban Design
L7 90 Pitt Street Sydney NSW 2000
TEL 9223 0280 FAX 9223 0283
mail@arcarchitects.com.au





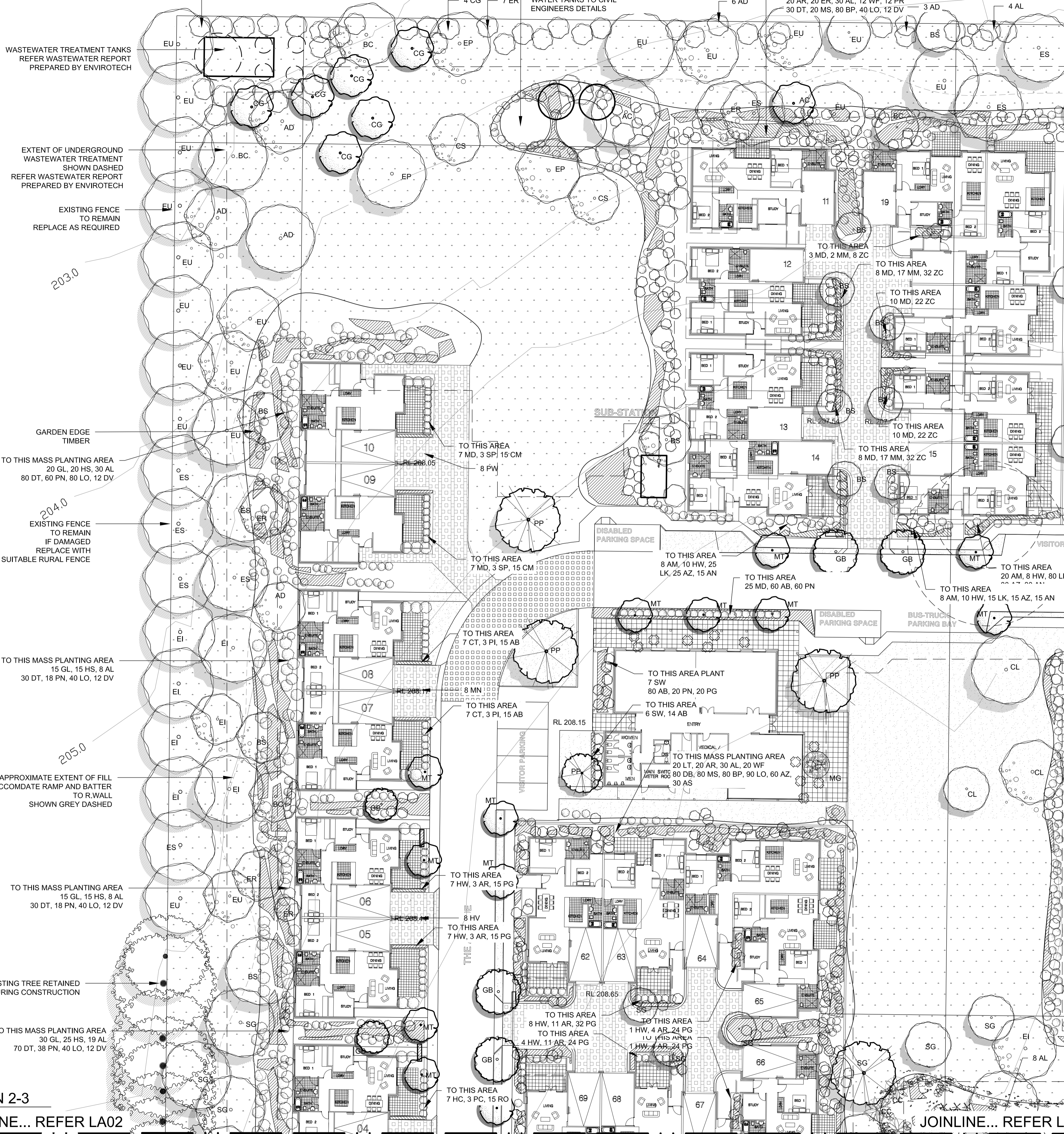
GALSTON GRANGE, 392 GALSTON ROAD, GALSTON



| | | | |
|------------------------|---------|--------------|------------|
| DRAWING TITLE | | | |
| DA LANDSCAPE SITE PLAN | | | |
| DRAWN | CHECKED | DATE CREATED | SCALE |
| AL | MT | 09.05.2011 | 1:500 @ A1 |
| DRAWING NUMBER | | | ISSUE |
| LS01 | | | G |

LEGEND

- SITE BOUNDARY
- EXISTING CONTOURS
- EXISTING TREE RETAINED
REFER ARBORISTS REPORT
- EXISTING TREE REMOVED
REFER ARBORISTS REPORT
- TREE PLANTING
- ORNAMENTAL TREE
- DECORATIVE GRAVEL TRIM
- DETAILED SHRUB AND
GROUND COVER PLANTING
- MOWN NATIVE GRASSLAND
- LAWN
- VEGETATED SWALE
- MAIL BOX
- MAIL BOX
TO COMPLIMENT
ARCHITECTURAL DESIGN
- POOL SAFETY FENCE
1m HIGH



JOINLINE... REFER LA01

JOINLINE... REFER LA02

JOINLINE... REFER LA03

JOINLINE... REFER LA04

JOINLINE... REFER LA02

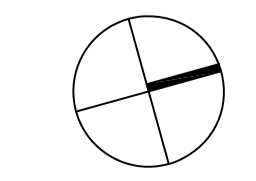
PLANT SCHEDULE

| ID | BOTANICAL NAME | COMMON NAME | HEIGHT (m) | POT SIZE | QTY | NATIVE | STIF SPECIES |
|--|---|----------------------------|------------|----------|--------|--------|--------------|
| TREES | | | | | | | |
| AA | <i>Arbutus andrachne</i> | Strawberry tree | 5m | 100L | 4 | | |
| AD | <i>Angophora costata</i> | Smooth barked apple | 25m | 45L | 22 | Y | Y |
| AC | <i>Acacia falcata</i> | Sickle wattle | 8m | 15L | 42 | Y | Y |
| BC | <i>Backhousia citriodora</i> | Honey myrtle | 12m | 75L | 30 | Y | Y |
| CD | <i>Banksia attenuata</i> | Honey cut tree | 8m | 100L | 46 | Y | Y |
| BS | <i>Cedrus atlantica</i> | Atlas Cedar | 40m | 150L | 1 | | |
| CL | <i>Calodendron capense</i> | Cape chestnut | 20m | 75L | 4 | | |
| CG | <i>Ceratopetalum gummiferum</i> | Christmas bush | 8m | 100L | 8 | Y | Y |
| CS | <i>Callitriche serratifolia</i> | Black wattle | 8m | 25L | 17 | Y | Y |
| ES | <i>Eucalyptus globoides</i> | White stringy bark | 22m | 75L | 6 | Y | Y |
| EG | <i>Eucalyptus paniculata</i> | Grey ironbark | 25m | 45L | 12 | Y | Y |
| EI | <i>Eucalyptus piperita</i> | Peppermint gum | 30m | 45L | 12 | Y | Y |
| EP | <i>Eucalyptus resinifera</i> | Red mahogany | 40m | 45L | 26 | Y | Y |
| ER | <i>Elaeocarpus reticulatus</i> | Blueberry ash | 10m | 100L | 53 | Y | Y |
| ES | <i>Eucalyptus saignia</i> | Sydney blue gum | 30m | 45L | 17 | Y | Y |
| GB | <i>Ginkgo biloba 'Princeton sentry'</i> | Princeton sentry ginkgo | 11m | 200L | 23 | | |
| MH | <i>Malus 'Golden home'</i> | Golden crab apple | 4m | 45L | 8 | | |
| MG | <i>Malus 'Gorgeous'</i> | Flowering crab apple | 6m | 45L | 9 | | |
| MT | <i>Malus tschonoskii</i> | Crab apple | 7m | 75L | 45 | | |
| PS | <i>Prunus 'Shirotae Mt Fuji'</i> | Mt Fuji cherry | 4m | 45L | 12 | | |
| PP | <i>Pinus patula</i> | Mexican weeping pine | 20m | 75L | 6 | | |
| SG | <i>Syncarpia glomulifera</i> | Turpentine | 25m | 45L | 26 | Y | Y |
| SY | <i>Syzygium paniculatum</i> | Brush cherry | 8m | 100L | 10 | Y | |
| VEGETATED SWALE PLANTING | | | | | | | |
| VJ | <i>Baumea juncea</i> | Bare Twig Rush | 0.5m | Tube | 10 | Y | |
| CA | <i>Cyathea australis</i> | Soft tree fern | 8m | 35L | 12 | Y | |
| CR | <i>Carex reflexa</i> | Native fascchia | 1.5m | 300mm | 40 | Y | |
| DC | <i>Dianella caerulea</i> | Flax lily | 0.5m | 75mm | 30 | Y | Y |
| GS | <i>Gahnia sieberiana</i> | Saw tooth edge | 2m | 75mm | 120 | Y | |
| IC | <i>Imperata cylindrica</i> | Blacy grass | 1m | 75mm | 160 | Y | |
| IN | <i>Isolepis nodosa</i> | Knobby club rush | 1m | Tube | 370 | Y | |
| JU | <i>Juncus ustulatus</i> | Common Rush | 0.5m | 75mm | 20 | Y | |
| LA | <i>Livistona australis</i> | Cabbage tree palm | 10m | 45L | 25 | Y | |
| LL | <i>Lomandra longifolia</i> | Spiry-headed Mat-rush | 0.5m | 75mm | 225 | Y | |
| MC | <i>Macrozamia communis</i> | Burrowing | 0.5m | 300mm | 80 | Y | |
| MI | <i>Microaena stipoides</i> | Weeping Rice Grass | 0.5m | Tube | 60 | Y | Y |
| PA | <i>Pennisetum alopecuroides</i> | Foxtail grass | 1m | Tube | 70 | Y | Y |
| PO | <i>Poa officinalis</i> | Poa | 1m | Tube | 165 | Y | Y |
| TH | <i>Themeda australis</i> | Kangaroo Grass | 0.5m | Tube | 60 | Y | Y |
| SHRUBS | | | | | | | |
| AL | <i>Acacia longifolia</i> | Wattle | 2m | 200mm | 365 | Y | |
| AM | <i>Acmena smithii 'Minor'</i> | Small leaf lily pily | 5m | 45L | 325 | Y | |
| AR | <i>Acmena smithii 'Red tips'</i> | Red tipped lily pily | 5m | 45L | 308 | Y | |
| CT | <i>Cordyline stricta</i> | Narrow palm lily | 2m | 300mm | 14 | Y | |
| DC | <i>Dodonea triquetra</i> | Hop bush | 1m | 200mm | 114 | Y | Y |
| EV | <i>Echium candicans</i> | Pride of madeira | 2m | 200mm | 88 | Y | |
| EI | <i>Eustrephus latifolius</i> | Wombat Berry | 1m | 200mm | 2 | Y | Y |
| GI | <i>Grevillea linearifolia</i> | White spider flower | 3m | 300mm | 136 | Y | |
| HP | <i>Helichysum petiolare</i> | Licorice plant | 1.5m | 200mm | 63 | Y | |
| HS | <i>Hakea sericea</i> | Needly bush | 2m | 300mm | 184 | Y | |
| HW | <i>Hebe 'Wirri gem'</i> | Hebe | 1.2m | 200mm | 202 | Y | |
| IH | <i>Iristine herbstii</i> | Bloodleaf | 0.5m | 200mm | 116 | Y | |
| LT | <i>Leptospermum trinervium</i> | Paperbark tree | 5m | 300mm | 168 | Y | |
| MA | <i>Macleaya cordata</i> | Plume poppy | 1m | 200mm | 54 | Y | |
| MD | <i>Michelia dottsopa 'Bubbles'</i> | Michelia | 2m | 45L | 53 | Y | |
| MM | <i>Melianthus major</i> | Giant honey flower | 1m | 200mm | 37 | Y | |
| OD | <i>Ozothamnus diosmifolius</i> | Hite Dogwood | 2m | 200mm | 2 | Y | Y |
| PC | <i>Psidium cattleianum</i> | Strawberry guava | 4m | 45L | 6 | Y | |
| PF | <i>Pultenaea flexilis</i> | Tall pea plant | 4m | 300mm | 12 | Y | |
| PI | <i>Pittosporum tenuifolium 'James stirling'</i> | James stirling pittosporum | 3m | 75L | 6 | Y | |
| PR | <i>Pittosporum revolutum</i> | Rough fruited pittosporum | 8m | 75L | 12 | Y | Y |
| PS | <i>Polyscias sambuicifolia</i> | Elderberr Panax | 1.5m | 200mm | 4 | Y | Y |
| PT | <i>Phormium tenax</i> | NZ fax | 1m | 140mm | 30 | Y | |
| PU | <i>Pittosporum undulatum</i> | Sweet pittosporum | 3m | 75L | 4 | Y | Y |
| SC | <i>Syzygium cascade</i> | Cascading lily pily | 4m | 75L | 49 | Y | |
| SP | <i>Sprea cantoniensis</i> | May bush | 3m | 45L | 6 | Y | |
| SW | <i>Syzygium wilsonii</i> | Powder puff lily | 4m | 75L | 42 | Y | |
| VO | <i>Viburnum odoratissimum 'Emerald lustre'</i> | Sweet viburnum | 3m | 45L | 39 | Y | |
| WF | <i>Westingia fruticosa</i> | Coastal rosemary | 3m | 300mm | 127 | Y | |
| GROUNDCOVERS | | | | | | | |
| AB | <i>Anigozanthos 'Bush Dawn'</i> | Yellow Kangaroo Paw | 0.5m | 75mm | 407 | Y | Y |
| AH | <i>Anemone hupphensis</i> | Japanese windsong lily | 0.2m | 75mm | 45 | Y | |
| AN | <i>Anigozanthos 'Bush Ranger'</i> | Red Kangaroo Paw | 0.4m | 75mm | 725 | Y | Y |
| AS | <i>Arctotis 'Silver Pink'</i> | African Daisy | 0.1m | 75mm | 60 | Y | |
| AZ | <i>Anigozanthos 'Compact Red'</i> | Kangaroo Paw | 0.3m | 75mm | 880 | Y | Y |
| BP | <i>Banksia serrata 'Pygmy Possum'</i> | River Banksia | 0.1m | 75mm | 414 | Y | Y |
| CM | <i>Convolvulus mauritanicus</i> | Ground Morning Glory | 0.1m | 75mm | 168 | Y | |
| DB | <i>Dianella 'Breeze'</i> | Wandering flax lily | 0.3m | 75mm | 510 | Y | Y |
| DT | <i>Dianella 'Tas Red'</i> | Red dianella | 0.4m | 75mm | 390 | Y | |
| IP | <i>Imperata cylindrica</i> | Blacy Grass | 0.4m | 75mm | 175 | Y | Y |
| LK | <i>Lomandra 'Katie Bells'</i> | Katie Bells matt rush | 0.3m | 140mm | 1426 | Y | |
| LL | <i>Lomandra longifolia</i> | Lomandra | 0.4m | 75mm | 870 | Y | Y |
| LO | <i>Lomandra 'Tanika'</i> | Lomandra | 0.4m | 140mm | 870 | Y | Y |
| MP | <i>Myoporum parvifolium</i> | Myoporum | 0.1m | 75mm | 116 | Y | Y |
| MS | <i>Microaena stipoides</i> | Weeping Grass | 0.6m | 75mm | 545 | Y | Y |
| PG | <i>Phormium cookianum 'Greenleaves'</i> | Flax | 0.4m | 75mm | 175 | Y | |
| PN | <i>Phormium cookianum 'Needles'</i> | Needle Flax | 0.4m | 75mm | 232 | Y | |
| RO | <i>Rosmarinus officinalis 'Prostrate'</i> | Rosemary | 0.4m | 75mm | 30 | Y | |
| TA | <i>Trachelospermum asiaticum</i> | Star jasmine | 0.1m | 75mm | 79 | Y | |
| ZD | <i>Themeda australis</i> | Kangaroo Grass | 0.5m | 75mm | 175 | Y | Y |
| TC | <i>Zephyranthes candida</i> | Crocus | 0.1m | 75mm | 116 | Y | |
| CLIMBERS | | | | | | | |
| PW | <i>Pandorea pandorana</i> | Wonga wonga vine | 0.1m | 140mm | 40 | Y | |
| HV | <i>Hardenbergia violacea</i> | Purple wanderer | 0.1m | 140mm | 8 | Y | |
| PV | <i>Pyrostegia venusta</i> | Orange trumpet vine | 0.1m | 140mm | 8 | Y | |
| MN | <i>Mandevilla 'Crimson fanstasi'</i> | Crimson mandevilla | 0.1m | 140mm | 8 | Y | |
| NATIVE GRASSLAND (HYDROSEEDING) | | | | | | | |
| 50% | <i>Bothriochloa macra</i> | Redgrass | 0.2m | SEED | 5701m2 | Y | |
| 50% | <i>Austrodanthonia richardsonii var. Hume</i> | Hume wallaby grass | 0.2m | SEED | 5701m2 | Y | |

NOTE:
ALL PLANT STOCK MUST BE OF LOCAL PROVENANCE PURCHASE FROM A RECOGNISED NATIVE NURSERY. RECEIPTS MUST BE OBTAINED AS PROOF OF PURCHASE AND PROVIDED TO COUNCIL'S BUSHLAND AND BIODIVERSITY TEAM. ALL PLANTING WITHIN THE SITE AREA MUST BE PLANTED BY A QUALIFIED AND EXPERIENCED BUSH REGENERATION COMPANY PRIOR TO THE RELEASE OF THE OCCUPATION CERTIFICATE. AREAS OF GREATER RESILIENCE MUST BE ENCOURAGED TO ALLOW NATURAL REGENERATION BY THE ENGAGED BUSH REGENERATION COMPANY. NO LAWN, MULCH OR DECORATIVE GRAVEL IS TO BE PLACED WITHIN THE SITE PLANTING AREA. PLANTINGS WITHIN THE SITE REMNANT MUST BE MAINTAINED FOR A MINIMUM OF 18 MONTHS, WITH A LETTER SUPPLIED TO COUNCIL BY THE HORTICULTURAL MAINTENANCE CONTRACTOR AT THE END OF THIS PERIOD POST DA APPROVAL.

PLANTING PLAN 2-3
1:250
JOINLINE... REFER LA02

GALSTON GRANGE, 392 GALSTON ROAD, GALSTON



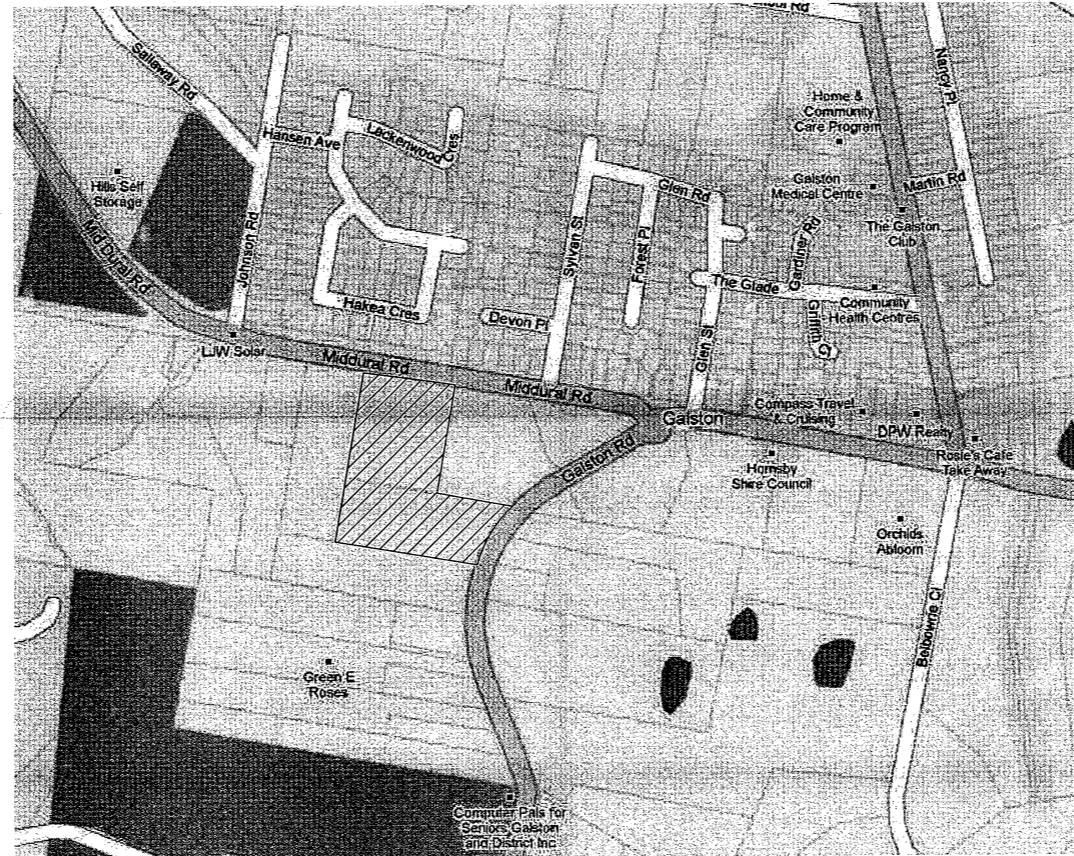
| PLANTING PLAN 2-3 | | | |
|-------------------|---------|--------------|------------|
| DRAWN | CHECKED | DATE CREATED | SCALE |
| AL | MT | 09.05.2011 | 1:250 @ A1 |
| DRAWING NUMBER | | | ISSUE |
| LA03 | | | G |

GALSTON RETIREMENT VILLAGE

CIVIL DRAWINGS PROJECT NO. 103976

DRAWING LIST

- 103976-00-IE00 COVER SHEET, INDEX & LEGEND
- 103976-00-IE02 EROSION & SEDIMENT CONTROL PLAN
- 103976-00-IE03 EROSION & SEDIMENT CONTROL DETAILS
- 103976-00-IE04 DETAIL CIVIL PLAN AND PIT & PIPE SCHEDULE
- 103976-00-IE05 SITE SECTIONS
- 103976-00-IE06 ROAD LONG-SECTION & TYPICAL ROAD CROSS-SECTION
- 103976-00-IE08 OSD DETAILS - EAST
- 103976-00-IE09 OSD DETAILS - WEST
- 103976-00-IE10 DRAINAGE DETAILS



LOCALITY SKETCH

PROPOSED WORKS LOCATION SHOWN AS

GENERAL LEGEND

| SYMBOL | DESCRIPTION |
|-----------------------|---|
| PROPOSED WORKS | |
| | KERBSIDE INLET PIT (KIP) |
| | GRATED PIT (GP) |
| | JUNCTION PIT (JP) |
| | OVERLAND FLOWPATH |
| | STORMWATER PIPE |
| | FLUSHPOINT (FP) & SUBSOIL DRAINAGE |
| | TRENCH GRATE (TG) |
| | SWALE DRAIN & DIRECTION OF FLOW |
| | FINISHED SURFACE LEVELS |
| | RETAINING WALL (RW) |
| | KERBS ONLY |
| | KERBS AND GUTTER |
| | DISH DRAIN |
| | 10,000L RAIN WATER TANK (RWT) DETAILS OF RWT TO HYDRAULIC ENGINEERS DRAWINGS |
| | BATTERS (1 IN 4 MAX) |
| | HEADWALL (HW) & RIPRAP SCOUR PROTECTION |
| | SANDBAG CHECK DAM / GRAVEL SAUSAGE |
| | STRAW HAY BALES |
| | SEDIMENT FENCE |
| | AC PAVEMENT |
| | CONC PAVEMENT |
| | SAW CUT |
| | ROOT GUARD |
| EXISTING WORKS | |
| | FENCE |
| | EXISTING STORMWATER PIT |
| | GAS MAIN |
| | SEWER MAIN |
| | WATER MAIN |
| | ELECTRICITY SUPPLY |
| | TELECOMMUNICATION CABLES |
| | STORMWATER PIPE |
| | STORMWATER PIPE TO BE DECOMMISSIONED |
| | EXISTING TREE - WORKS ON TREES SHOWN ON ARCHITECTURAL DRAWINGS |
| ABBREVIATIONS | |
| IL59.25 | INVERT LEVEL |
| SSL | STRUCTURAL SLAB LEVEL (TOP) |
| FFL | FINISHED FLOOR LEVEL |
| VC | VEHICULAR CROSSING |
| PR | PRAM RAMP |
| DR | DRIVEWAY |
| FP | FOOTPATH |
| CH | CHANGE |
| UNO | UNLESS NOTED OTHERWISE |
| US | UPSTREAM |
| DS | DOWNSTREAM |
| CL | COVER LEVEL |
| DP | DOWNPIPE |

| REV | DESCRIPTION | BY | DATE |
|-----|-----------------|----|----------|
| A | FOR INFORMATION | RL | 26-05-10 |
| B | ISSUED FOR DA | RL | 02-07-10 |
| C | ISSUED FOR DA | RL | 05-07-10 |

STATUS
**PRELIMINARY
NOT FOR CONSTRUCTION**

Level 4, 66 Clarence Street
Sydney NSW 2000
Telephone: (02) 9699 3088
Fax: (02) 9619 7508
www.meinhardtgroup.com
A.C.N. 061 627 591
©Copyright

| | | | |
|---|--------------------|----------|------------|
| PROJECT GALSTON RETIREMENT VILLAGE 392 GALSTON ROAD, GALSTON | | | |
| CLIENT TREYSTEN PTY LTD | | | |
| TITLE COVER SHEET, INDEX & LEGEND | | | |
| DESIGNED PD | DRAWN RL | APPROVED | SCALE @ A1 |
| PROJECT No 103976 | DRAWING No IE00 | REV C | |

SOUTHERN CATCHMENT

PROVIDE TEMPORARY SEDIMENT BASIN IN LOCATION OF PROPOSED EFFLUENT STORAGE TANK AND UTILISE EXCAVATION FOR UNDERGROUND TANK WHERE POSSIBLE

CONTRIBUTING CATCHMENT - 1.5702 Ha
 SEDIMENT SETTLING ZONE VOLUME - 170 cu.m
 SEDIMENT STORAGE VOLUME - 85 cu.m
 TOTAL BASIN VOLUME - 256 cu.m

MID DURAL ROAD WEST CATCHMENT

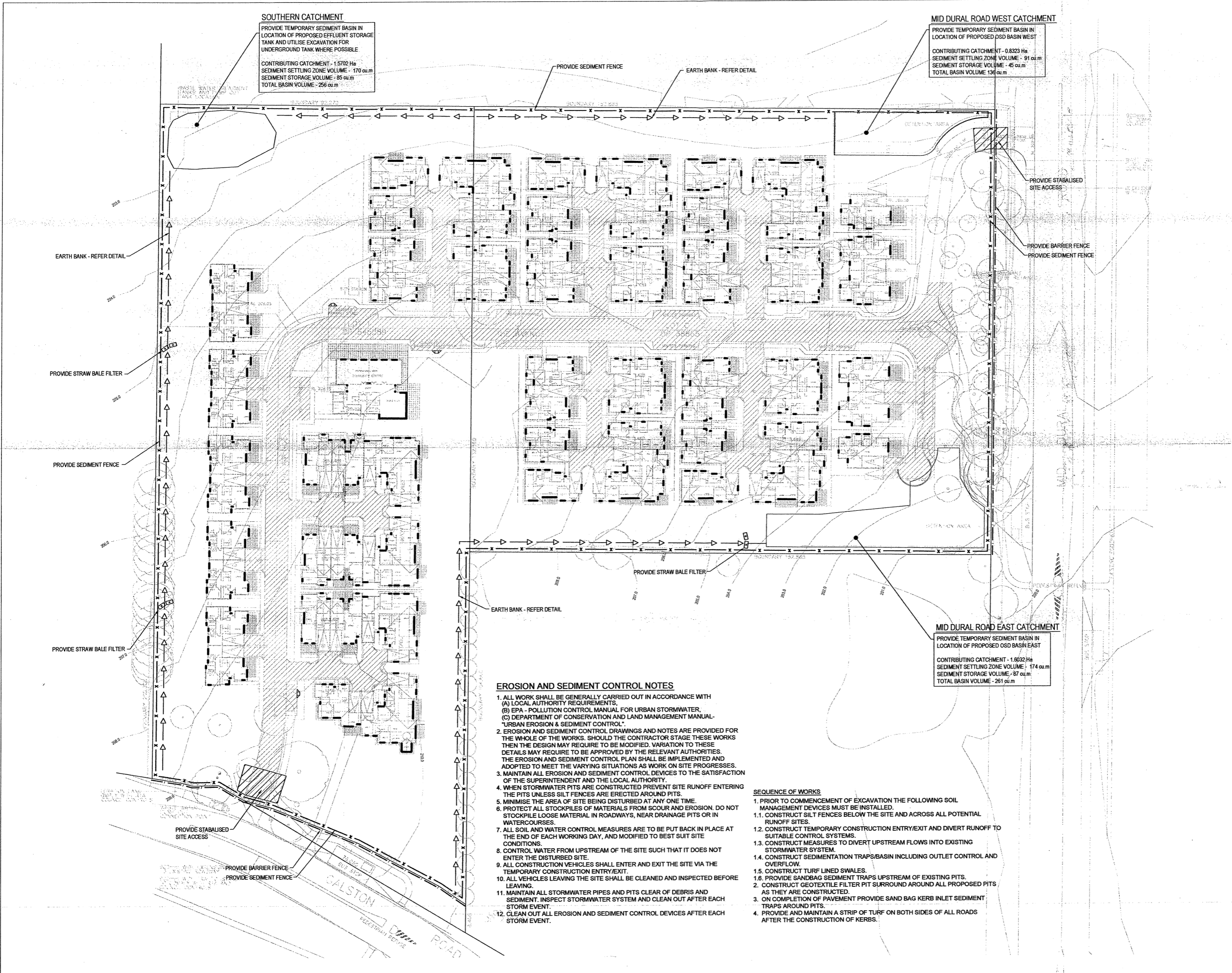
PROVIDE TEMPORARY SEDIMENT BASIN IN LOCATION OF PROPOSED OSD BASIN WEST

CONTRIBUTING CATCHMENT - 0.8323 Ha
 SEDIMENT SETTLING ZONE VOLUME - 91 cu.m
 SEDIMENT STORAGE VOLUME - 45 cu.m
 TOTAL BASIN VOLUME 136 cu.m

MID DURAL ROAD EAST CATCHMENT

PROVIDE TEMPORARY SEDIMENT BASIN IN LOCATION OF PROPOSED OSD BASIN EAST

CONTRIBUTING CATCHMENT - 1.8032 Ha
 SEDIMENT SETTLING ZONE VOLUME - 174 cu.m
 SEDIMENT STORAGE VOLUME - 87 cu.m
 TOTAL BASIN VOLUME - 261 cu.m



EROSION AND SEDIMENT CONTROL NOTES

- ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH
 (A) LOCAL AUTHORITY REQUIREMENTS,
 (B) EPA - POLLUTION CONTROL MANUAL FOR URBAN STORMWATER,
 (C) DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT MANUAL "URBAN EROSION & SEDIMENT CONTROL".
- EROSION AND SEDIMENT CONTROL DRAWINGS AND NOTES ARE PROVIDED FOR THE WHOLE OF THE WORKS. SHOULD THE CONTRACTOR STAGE THESE WORKS THEN THE DESIGN MAY REQUIRE TO BE MODIFIED. VARIATION TO THESE DETAILS MAY REQUIRE TO BE APPROVED BY THE RELEVANT AUTHORITIES. THE EROSION AND SEDIMENT CONTROL PLAN SHALL BE IMPLEMENTED AND ADOPTED TO MEET THE VARYING SITUATIONS AS WORK ON SITE PROGRESSES.
- MAINTAIN ALL EROSION AND SEDIMENT CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
- WHEN STORMWATER PITS ARE CONSTRUCTED PREVENT SITE RUNOFF ENTERING THE PITS UNLESS SILT FENCES ARE ERECTED AROUND PITS.
- MINIMISE THE AREA OF SITE BEING DISTURBED AT ANY ONE TIME.
- PROTECT ALL STOCKPILES OF MATERIALS FROM SOIL AND EROSION. DO NOT STOCKPILE LOOSE MATERIAL IN ROADWAYS, NEAR DRAINAGE PITS OR IN WATERCOURSES.
- ALL SOIL AND WATER CONTROL MEASURES ARE TO BE PUT BACK IN PLACE AT THE END OF EACH WORKING DAY, AND MODIFIED TO BEST SUIT SITE CONDITIONS.
- CONTROL WATER FROM UPSTREAM OF THE SITE SUCH THAT IT DOES NOT ENTER THE DISTURBED SITE.
- ALL CONSTRUCTION VEHICLES SHALL ENTER AND EXIT THE SITE VIA THE TEMPORARY CONSTRUCTION ENTRY/EXIT.
- ALL VEHICLES LEAVING THE SITE SHALL BE CLEANED AND INSPECTED BEFORE LEAVING.
- MAINTAIN ALL STORMWATER PIPES AND PITS CLEAR OF DEBRIS AND SEDIMENT. INSPECT STORMWATER SYSTEM AND CLEAN OUT AFTER EACH STORM EVENT.
- CLEAN OUT ALL EROSION AND SEDIMENT CONTROL DEVICES AFTER EACH STORM EVENT.

SEQUENCE OF WORKS

- PRIOR TO COMMENCEMENT OF EXCAVATION THE FOLLOWING SOIL MANAGEMENT DEVICES MUST BE INSTALLED.
 - CONSTRUCT SILT FENCES BELOW THE SITE AND ACROSS ALL POTENTIAL RUNOFF SITES.
 - CONSTRUCT TEMPORARY CONSTRUCTION ENTRY/EXIT AND DIVERT RUNOFF TO SUITABLE CONTROL SYSTEMS.
 - CONSTRUCT MEASURES TO DIVERT UPSTREAM FLOWS INTO EXISTING STORMWATER SYSTEM.
 - CONSTRUCT SEDIMENTATION TRAPS/BASIN INCLUDING OUTLET CONTROL AND OVERFLOW.
 - CONSTRUCT TURF LINED SWALES.
 - PROVIDE SANDBAG SEDIMENT TRAPS UPSTREAM OF EXISTING PITS.
- ON COMPLETION OF PAVEMENT PROVIDE SAND BAG KERB INLET SEDIMENT TRAPS AROUND PITS.
- PROVIDE AND MAINTAIN A STRIP OF TURF ON BOTH SIDES OF ALL ROADS AFTER THE CONSTRUCTION OF KERBS.

| REV | DESCRIPTION | BY | DATE |
|-----|-----------------|----|----------|
| A | FOR INFORMATION | RL | 29-06-10 |
| B | FOR DA ISSUE | RL | 02-07-10 |
| C | FOR DA ISSUE | RL | 05-07-10 |
| D | FOR DA ISSUE | RL | 06-05-11 |

STATUS
**PRELIMINARY
 NOT FOR CONSTRUCTION**



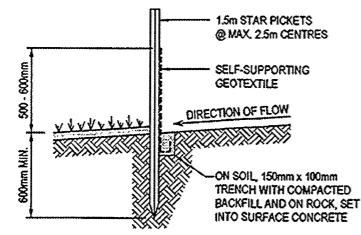
Level 4, 66 Clarence Street
 Sydney NSW 2000
 Telephone: (02) 9599 3088
 Fax: (02) 9519 7008
 www.meinhardtgroup.com
 A.C.N. 051 627 591
 ©Copyright

PROJECT
GALSTON RETIREMENT VILLAGE
 392 GALSTON ROAD, GALSTON

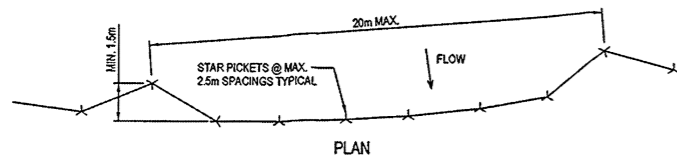
CLIENT
 TREYSTEN PTY LTD

TITLE
EROSION & SEDIMENT CONTROL PLAN

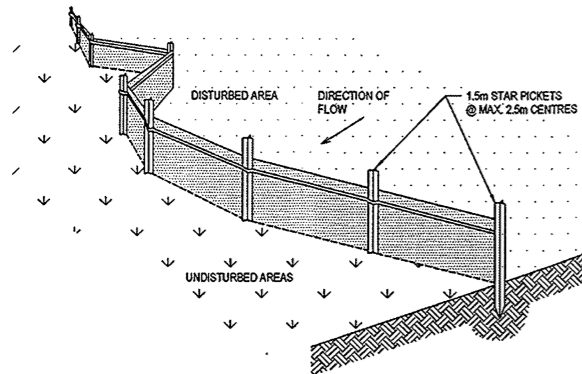
| DESIGNED | DRAWN | APPROVED | SCALE @ A1 |
|------------|------------|----------|------------|
| PD | RL | RL | 1:500 |
| PROJECT No | DRAWING No | REV | |
| 103976 | IE02 | D | |



SECTION DETAIL



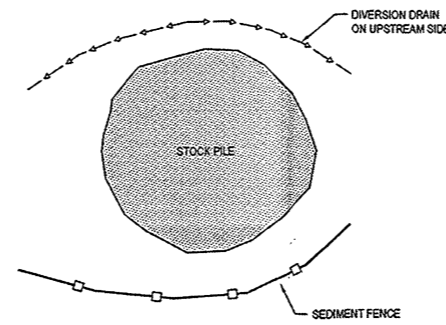
PLAN



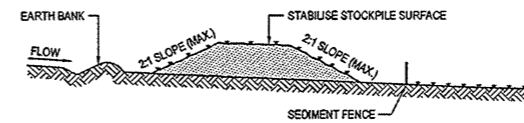
SEDIMENT FENCE
SCALE N.T.S.

SEDIMENT FENCE CONSTRUCTION NOTES:

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND @ 2.5m INTERVALS (MAX.) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



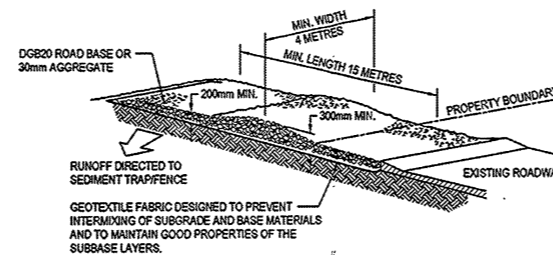
STOCKPILE PLAN
SCALE N.T.S.



STOCKPILE CONSTRUCTION NOTES:

1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
4. WHERE THEY ARE TO BE PLACED FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED E.S.C.P. OR S.W.M.P. TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
5. CONSTRUCT EARTH BANKS ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METRES DOWNSLOPE.

STOCKPILE SECTION
SCALE N.T.S.



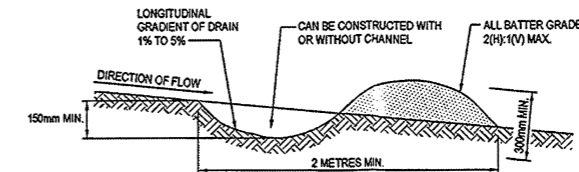
GEOTEXTILE FABRIC DESIGNED TO PREVENT INTERMIXING OF SUBGRADE AND BASE MATERIALS AND TO MAINTAIN GOOD PROPERTIES OF THE SUBBASE LAYERS.

GEOTEXTILE MAYBE WOVEN OR NEEDLE PUNCHED PRODUCT WITH A MINIMUM CBR BURST STRENGTH (AS3706.4-90) OF 2500 N.

STABILISED SITE ACCESS CONSTRUCTION NOTES:

1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE.
2. COVER THE AREA WITH NEEDLE - PUNCHED GEOTEXTILE.
3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASE OR 30mm AGGREGATE.
4. ENSURE THE STRUCTURE IS AT LEAST 15 METRES LONG OR TO BUILDING ALIGNMENT AND AT LEAST 3 METRES WIDE.
5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILISED ACCESS, CONSTRUCT A HUMP IN THE STABILISED ACCESS TO DIVERT WATER TO SEDIMENT FENCE.

STABILISED SITE ACCESS
SCALE N.T.S.

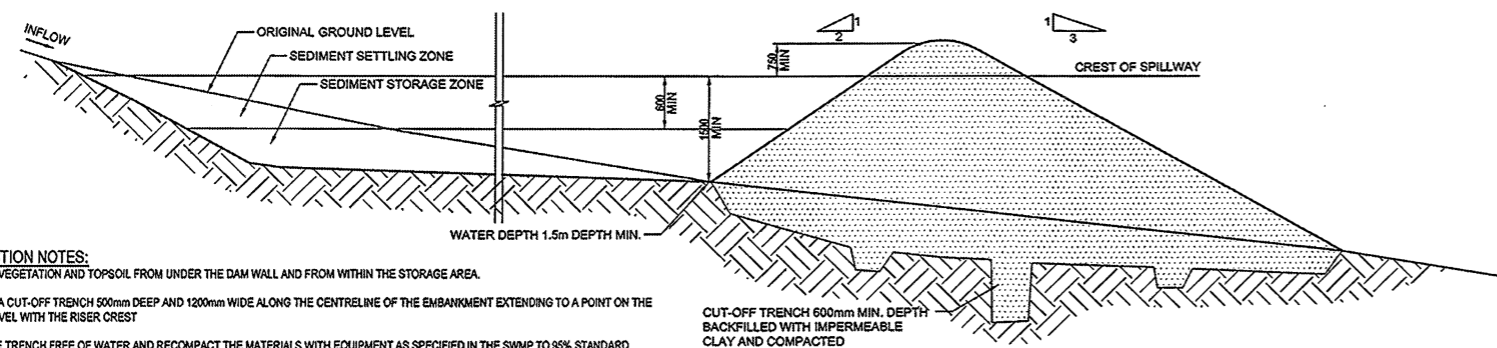


NOTE: ONLY TO BE USED AS TEMPORARY BANK WHERE MAXIMUM UPSLOPE LENGTH IS 80 METRES.

EARTH BANK CONSTRUCTION NOTES:

1. BUILD WITH GRADIENTS BETWEEN 1% AND 5%.
2. AVOID REMOVING TREES AND SHRUBS IF POSSIBLE - WORK AROUND THEM.
3. ENSURE THE STRUCTURES ARE FREE OF PROJECTIONS OR OTHER IRREGULARITIES THAT COULD IMPEDE WATER FLOW.
4. BUILD THE DRAINS WITH CIRCULAR, PARABOLIC OR TRAPEZOIDAL CROSS-SECTIONS, NOT "V" SHAPED.
5. ENSURE BANKS ARE PROPERLY COMPACTED TO PREVENT FAILURE.
6. COMPLETE PERMANENT OR TEMPORARY STABILISATION WITHIN 10 DAYS OF CONSTRUCTION.

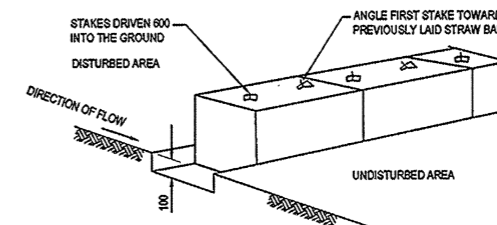
EARTH BANK (LOW FLOW)
SCALE N.T.S.



CONSTRUCTION NOTES:

1. REMOVE ALL VEGETATION AND TOPSOIL FROM UNDER THE DAM WALL AND FROM WITHIN THE STORAGE AREA.
2. CONSTRUCT A CUT-OFF TRENCH 500mm DEEP AND 1200mm WIDE ALONG THE CENTRELINE OF THE EMBANKMENT EXTENDING TO A POINT ON THE GULLY WALL LEVEL WITH THE RISER CREST
3. MAINTAIN THE TRENCH FREE OF WATER AND RECOMPACT THE MATERIALS WITH EQUIPMENT AS SPECIFIED IN THE SWMP TO 95% STANDARD PROCTOR DENSITY.
4. SELECT FILL FOLLOWING THE SWMP THAT IS FREE OF ROOTS, WOOD, ROCK, LARGE STONE OR FOREIGN MATERIAL.
5. PREPARE THE SITE UNDER THE EMBANKMENT BY RIPPING TO AT LEAST 100mm TO HELP BOND COMPACTED FILL TO THE EXISTING SUBSTRATE.
6. SPREAD THE FILL IN 100mm TO 150mm LAYERS AND COMPACT IT AT OPTIMUM MOISTURE CONTENT FOLLOWING THE SWMP.
7. CONSTRUCT THE EMERGENCY SPILLWAY.
8. REHABILITATE THE STRUCTURE FOLLOWING THE SWMP.

SEDIMENT BASIN
NOT TO SCALE



NOTE: STAKE TO BE EITHER TAR COATED STAR OR 50 x 50 HARDWOOD

STRAW BALE FILTER
SCALE N.T.S.

| REV | DESCRIPTION | BY | DATE |
|-----|-----------------|----|----------|
| A | FOR INFORMATION | RL | 25-05-10 |
| B | FOR ISSUE | RL | 05-01-10 |
| C | FOR ISSUE | RL | 05-01-10 |

STATUS
**PRELIMINARY
NOT FOR CONSTRUCTION**

MEIN+ARDT
INFRASTRUCTURE & ENVIRONMENT

Level 4, 68 Clarence Street
Sydney NSW 2000
Telephone: (02) 9699 3058
Fax: (02) 9219 7508
www.meinhardtgroup.com
A/C/N: 951 927 991
© Copyright

PROJECT
GALSTON RETIREMENT VILLAGE
392 GALSTON ROAD, GALSTON

CLIENT
TREYSTEN PTY LTD

TITLE
EROSION & SEDIMENT CONTROL DETAILS

| DESIGNED | DRAWN | APPROVED | SCALE |
|----------|-------|----------|-------|
| PD | RL | - | @ A1 |

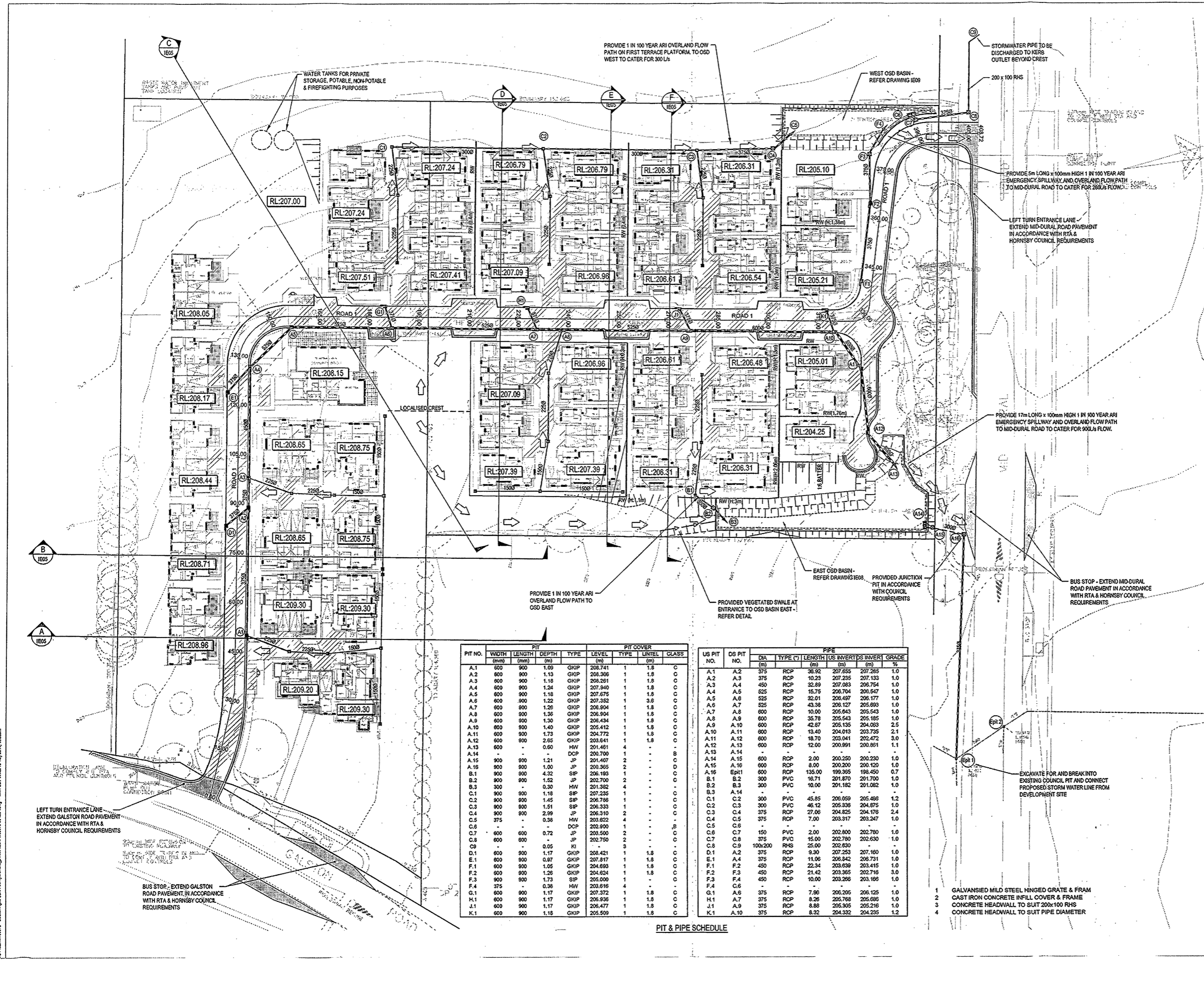
PROJECT No: 103976 DRAWING No: IE03 REV: C

| REV | DESCRIPTION | BY | DATE |
|-----|-----------------|----|----------|
| A | FOR INFORMATION | RL | 26-05-10 |
| B | FOR REVIEW | RL | 26-06-10 |
| C | FOR REVIEW | RL | 26-06-10 |
| D | ISSUED FOR DA | RL | 26-07-10 |
| E | ISSUED FOR DA | RL | 26-07-10 |
| F | ISSUED FOR DA | RL | 26-07-10 |
| G | FOR DA ISSUE | RL | 26-05-11 |
| H | FOR DA ISSUE | RL | 26-05-11 |

STATUS
**PRELIMINARY
NOT FOR CONSTRUCTION**

LEGEND

| | |
|-----------|----------------------|
| RL-000.00 | FINISHED FLOOR LEVEL |
|-----------|----------------------|



PIT & PIPE SCHEDULE

| PIT | | | | | | PIPE | | | | | | | | | | |
|---------|------------|-------------|------------|------|-----------|----------------|-------|-------|------------|------------|---------|----------|------------|----------------|---------------|-------|
| PIT NO. | WIDTH (mm) | LENGTH (mm) | DEPTH (mm) | TYPE | LEVEL (m) | PIT COVER TYPE | UNTEL | CLASS | US PIT NO. | DS PIT NO. | DI (mm) | TYPE (C) | LENGTH (m) | US INVERTS (m) | DS INVERT (m) | GRADE |
| A.1 | 600 | 900 | 1.09 | GKIP | 208.741 | 1 | 1.8 | C | A.1 | A.2 | 375 | RCP | 36.92 | 207.635 | 207.263 | 1.0 |
| A.2 | 600 | 900 | 1.13 | GKIP | 208.399 | 1 | 1.8 | C | A.2 | A.3 | 375 | RCP | 10.23 | 207.235 | 207.133 | 1.0 |
| A.3 | 600 | 900 | 1.18 | GKIP | 208.261 | 1 | 1.8 | C | A.3 | A.4 | 450 | RCP | 32.89 | 207.083 | 206.754 | 1.0 |
| A.4 | 600 | 900 | 1.24 | GKIP | 207.940 | 1 | 1.8 | C | A.4 | A.5 | 625 | RCP | 15.75 | 206.704 | 206.547 | 1.0 |
| A.5 | 600 | 900 | 1.18 | GKIP | 207.675 | 1 | 1.8 | C | A.5 | A.6 | 525 | RCP | 32.01 | 206.497 | 206.177 | 1.0 |
| A.6 | 600 | 900 | 1.22 | GKIP | 207.352 | 1 | 3.6 | C | A.6 | A.7 | 525 | RCP | 43.38 | 206.127 | 205.693 | 1.0 |
| A.7 | 600 | 900 | 1.26 | GKIP | 206.934 | 1 | 1.8 | C | A.7 | A.8 | 600 | RCP | 10.00 | 205.643 | 205.543 | 1.0 |
| A.8 | 600 | 900 | 1.36 | GKIP | 206.504 | 1 | 1.8 | C | A.8 | A.9 | 600 | RCP | 35.78 | 205.543 | 205.185 | 1.0 |
| A.9 | 600 | 900 | 1.30 | GKIP | 206.434 | 1 | 1.8 | C | A.9 | A.10 | 600 | RCP | 42.67 | 205.135 | 204.053 | 2.5 |
| A.10 | 600 | 900 | 1.40 | GKIP | 205.412 | 1 | 1.8 | C | A.10 | A.11 | 600 | RCP | 13.40 | 204.018 | 203.735 | 2.1 |
| A.11 | 600 | 900 | 1.73 | GKIP | 204.772 | 1 | 1.8 | C | A.11 | A.12 | 600 | RCP | 18.70 | 203.944 | 202.472 | 3.0 |
| A.12 | 600 | 900 | 2.65 | GKIP | 203.641 | 1 | 1.8 | C | A.12 | A.13 | 600 | RCP | 12.00 | 200.991 | 200.861 | 1.1 |
| A.13 | 600 | - | 0.50 | HW | 201.461 | 4 | - | - | A.13 | A.14 | - | - | - | - | - | - |
| A.14 | - | - | - | DCP | 200.700 | 1 | - | - | A.14 | A.15 | 600 | RCP | 2.00 | 200.250 | 200.230 | 1.0 |
| A.15 | 900 | 900 | 1.21 | JP | 201.407 | 2 | - | - | A.15 | A.16 | 600 | RCP | 8.00 | 200.200 | 200.120 | 1.0 |
| A.16 | 900 | 900 | 1.00 | JP | 200.365 | 2 | - | - | A.16 | EPH1 | 600 | RCP | 135.00 | 199.395 | 198.459 | 0.7 |
| B.1 | 900 | 900 | 4.32 | SP | 206.193 | 1 | - | - | B.1 | B.2 | 300 | PVC | 16.71 | 201.870 | 201.700 | 1.0 |
| B.2 | 900 | 900 | 1.52 | JP | 202.700 | 2 | - | - | B.2 | B.3 | 300 | PVC | 10.00 | 201.182 | 201.082 | 1.0 |
| B.3 | 300 | - | 0.30 | HW | 201.382 | 4 | - | - | B.3 | A.14 | - | - | - | - | - | - |
| C.1 | 900 | 900 | 1.18 | SP | 207.235 | 1 | - | - | C.1 | C.2 | 300 | PVC | 45.85 | 206.059 | 205.495 | 1.2 |
| C.2 | 900 | 900 | 1.45 | SP | 206.798 | 1 | - | - | C.2 | C.3 | 300 | PVC | 45.12 | 205.536 | 204.875 | 1.0 |
| C.3 | 900 | 900 | 1.51 | SP | 206.333 | 1 | - | - | C.3 | C.4 | 375 | RCP | 27.06 | 204.825 | 204.178 | 2.4 |
| C.4 | 900 | 900 | 2.96 | JP | 205.140 | 2 | - | - | C.4 | C.5 | 375 | RCP | 7.00 | 203.317 | 203.247 | 1.0 |
| C.5 | 375 | - | 0.38 | HW | 203.622 | 4 | - | - | C.5 | C.6 | - | - | - | - | - | - |
| C.6 | - | - | - | DCP | 202.900 | 1 | - | - | C.6 | C.7 | 150 | PVC | 2.00 | 202.800 | 202.780 | 1.0 |
| C.7 | 600 | 600 | 0.72 | JP | 203.500 | 2 | - | - | C.7 | C.8 | 375 | RCP | 15.00 | 202.780 | 202.630 | 1.0 |
| C.8 | 600 | 600 | - | JP | 202.750 | 2 | - | - | C.8 | C.9 | 100x200 | RHS | 25.00 | 202.630 | - | - |
| C.9 | - | - | 0.05 | HI | 202.750 | 9 | - | - | D.1 | A.2 | 375 | RCP | 9.30 | 207.253 | 207.160 | 1.0 |
| D.1 | 600 | 900 | 1.17 | GKIP | 208.421 | 1 | 1.8 | C | E.1 | A.4 | 375 | RCP | 11.06 | 206.542 | 206.731 | 1.0 |
| E.1 | 600 | 900 | 0.97 | GKIP | 207.817 | 1 | 1.8 | C | F.1 | F.2 | 450 | RCP | 22.34 | 203.639 | 203.415 | 1.0 |
| F.1 | 600 | 900 | 1.05 | GKIP | 204.693 | 1 | 1.8 | C | F.2 | F.3 | 450 | RCP | 21.42 | 203.365 | 202.716 | 3.0 |
| F.2 | 600 | 900 | 1.26 | GKIP | 204.624 | 1 | 1.8 | C | F.3 | F.4 | 450 | RCP | 10.00 | 203.256 | 203.169 | 1.0 |
| F.3 | 900 | 900 | 1.73 | JP | 205.000 | 1 | - | - | F.4 | C.6 | - | - | - | - | - | - |
| F.4 | 375 | - | 0.38 | HW | 203.616 | 4 | - | - | G.1 | A.6 | 375 | RCP | 7.96 | 206.205 | 206.125 | 1.0 |
| G.1 | 600 | 900 | 1.17 | GKIP | 207.372 | 1 | 1.8 | C | H.1 | A.7 | 375 | RCP | 8.28 | 205.768 | 205.686 | 1.0 |
| H.1 | 600 | 900 | 1.17 | GKIP | 206.936 | 1 | 1.8 | C | J.1 | A.9 | 375 | RCP | 8.88 | 205.305 | 205.216 | 1.0 |
| J.1 | 600 | 900 | 1.17 | GKIP | 206.477 | 1 | 1.8 | C | K.1 | A.10 | 375 | RCP | 8.32 | 204.332 | 204.235 | 1.2 |
| K.1 | 600 | 900 | 1.18 | GKIP | 205.599 | 1 | 1.8 | C | | | | | | | | |

PROJECT: GALSTON RETIREMENT VILLAGE
 DRAWING: IE04
 DATE: 11 May 2011, 10:00am
 DRAWN BY: RL
 CHECKED BY: RL
 APPROVED BY: RL
 SCALE: 1:500

Level 4, 66 Clarendon Street
 Sydney NSW 2008
 Telephone: (02) 9699 3936
 Fax: (02) 9219 7105
 www.mckinstry.com.au
 A/CIA 991 627 291
 ©Copyright

INFRASTRUCTURE & ENVIRONMENT

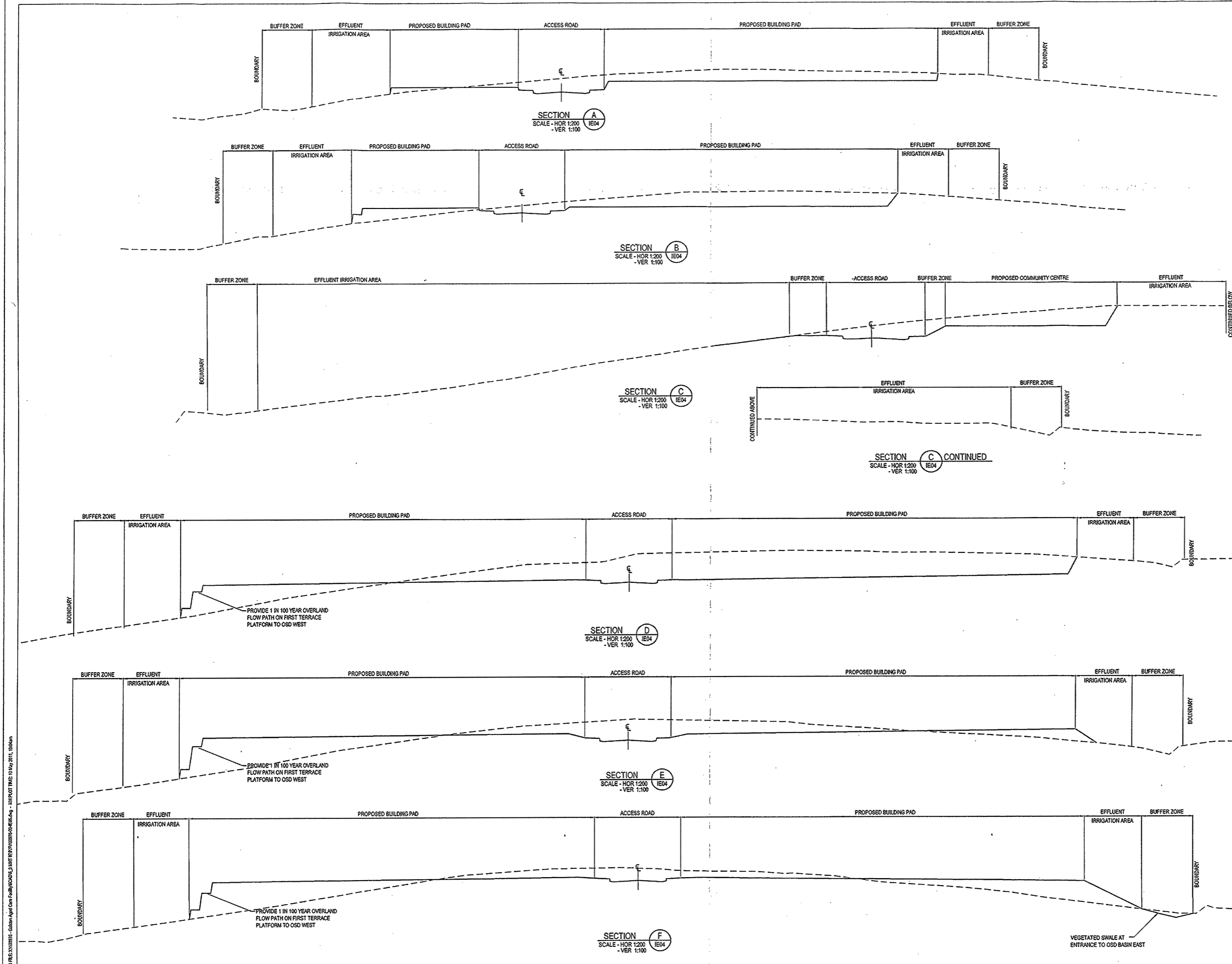
PROJECT: GALSTON RETIREMENT VILLAGE
 392 GALSTON ROAD, GALSTON

CLIENT: TREYSTEN PTY LTD

TITLE: DETAIL CIVIL PLAN AND PIT & PIPE SCHEDULE

DESIGNED: PD
 DRAWN: RL
 APPROVED: RL
 SCALE @ A1: 1:500

PROJECT No: 103976
 DRAWING No: IE04
 REV: H



| REV | DESCRIPTION | BY | DATE |
|-----|-----------------|----|----------|
| A | FOR INFORMATION | RL | 26-05-12 |
| B | FOR REVIEW | RL | 26-05-12 |
| C | ISSUED FOR DA | RL | 02-07-10 |
| D | ISSUED FOR DA | RL | 05-07-10 |
| E | ISSUED FOR DA | RL | 24-01-10 |
| F | ISSUED FOR DA | RL | 10-05-11 |

STATUS
**PRELIMINARY
 NOT FOR CONSTRUCTION**

CONTINUED BELOW

CONTINUED ABOVE

Level 4, 66 Clarence Street
 Sydney NSW 2000
 Telephone (02) 9699 3008
 Fax (02) 9519 7500
 www.wentwardgroup.com
 A/CMA 051 827 981
 ©Copyright

PROJECT
**GALSTON RETIREMENT
 VILLAGE**
 392 GALSTON ROAD, GALSTON

CLIENT
TREYSTEN PTY LTD

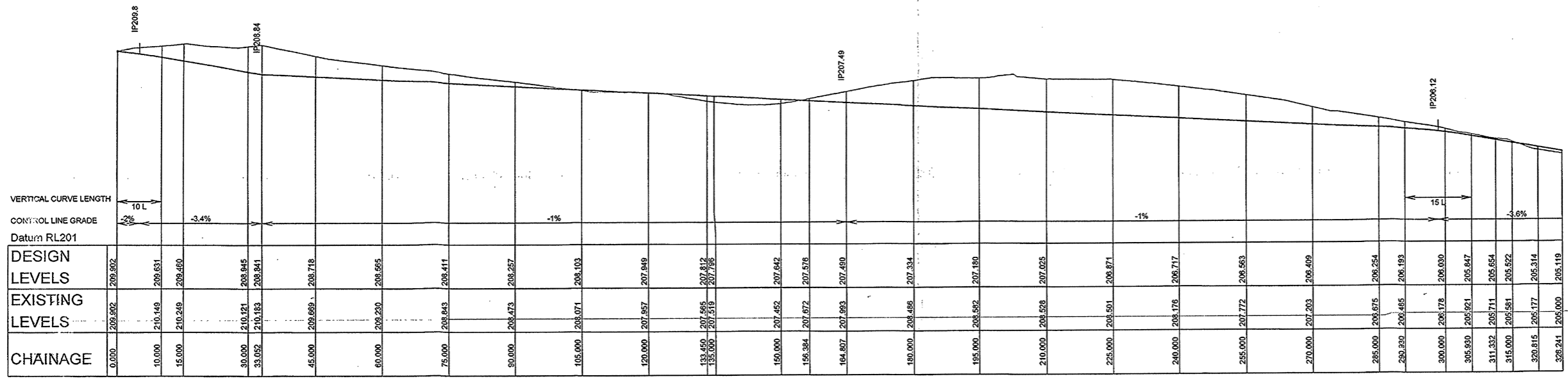
TITLE
SITE SECTIONS

| DESIGNED | DRAWN | APPROVED | SCALE @ A1 |
|------------|------------|----------|------------|
| PD | RL | RL | AS SHOWN |
| PROJECT No | DRAWING No | REV | |
| 103976 | IE05 | F | |

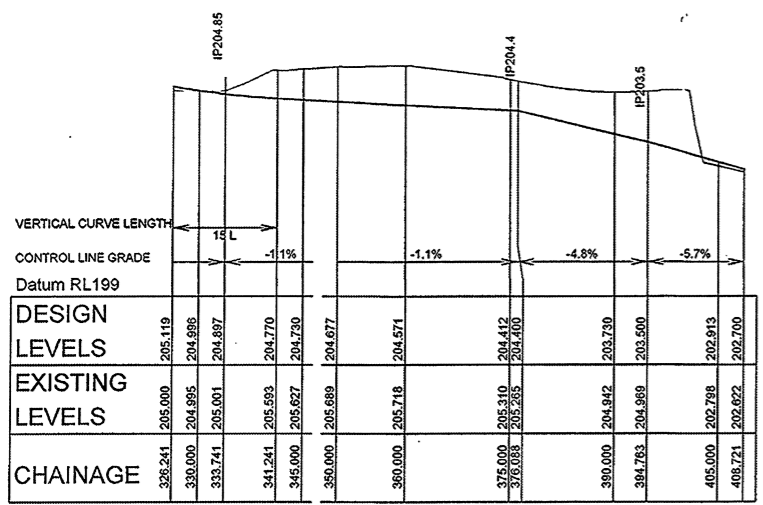
D:\PROJECTS\103976 - Galston Retirement Village\624242_3\1117\REV\103976-IE05.dwg - L1117.dwg 10 May 2011, 10:06am

| REV | DESCRIPTION | BY | DATE |
|-----|-----------------|----|----------|
| A | FOR PRELIMINARY | RL | 25-02-15 |
| B | FOR REVIEW | RL | 25-02-15 |
| C | FOR ISSUE | RL | 02-03-16 |
| D | FOR ISSUE | RL | 02-03-16 |

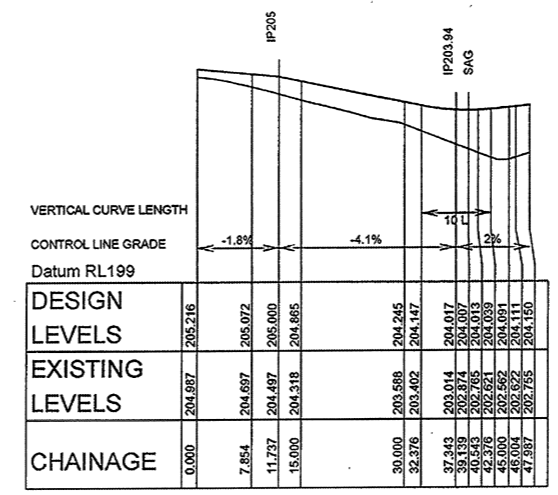
STATUS
**PRELIMINARY
NOT FOR CONSTRUCTION**



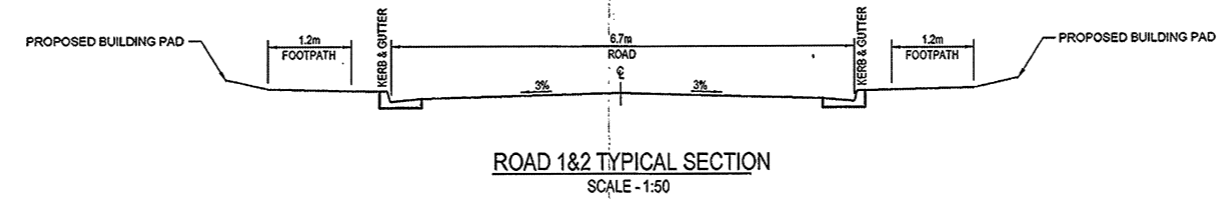
LONGITUDINAL SECTION CL 1
HORIZONTAL SCALE 1:500
VERTICAL SCALE 1:100



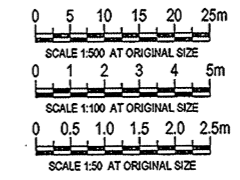
LONGITUDINAL SECTION CL 1 - CONTINUE
HORIZONTAL SCALE 1:500
VERTICAL SCALE 1:100



LONGITUDINAL SECTION CL 2
HORIZONTAL SCALE 1:500
VERTICAL SCALE 1:100



ROAD 1&2 TYPICAL SECTION
SCALE - 1:50



| | | | |
|---|--------------------|---------------|------------------------|
| PROJECT GALSTON RETIREMENT VILLAGE 392 GALSTON ROAD, GALSTON | | | |
| CLIENT TREYSTEN PTY LTD | | | |
| TITLE ROAD LONG SECTION & TYPICAL ROAD CROSS SECTION | | | |
| DESIGNED FD | DRAWN RL | APPROVED - | SCALE @ A1 AS SHOWN |
| PROJECT No 103976 | DRAWING No IE06 | REV D | |

FILE: X:\103976 - Galston Retirement Village\103976_001_103976.dwg - I:\PROJECTS\103976_001_103976.dwg - 10/05/2011 10:00am

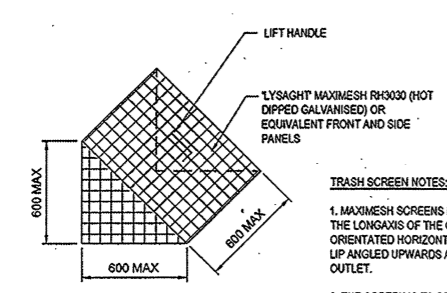
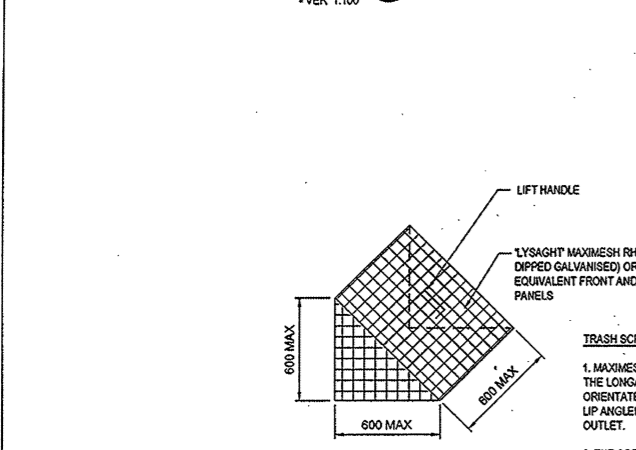
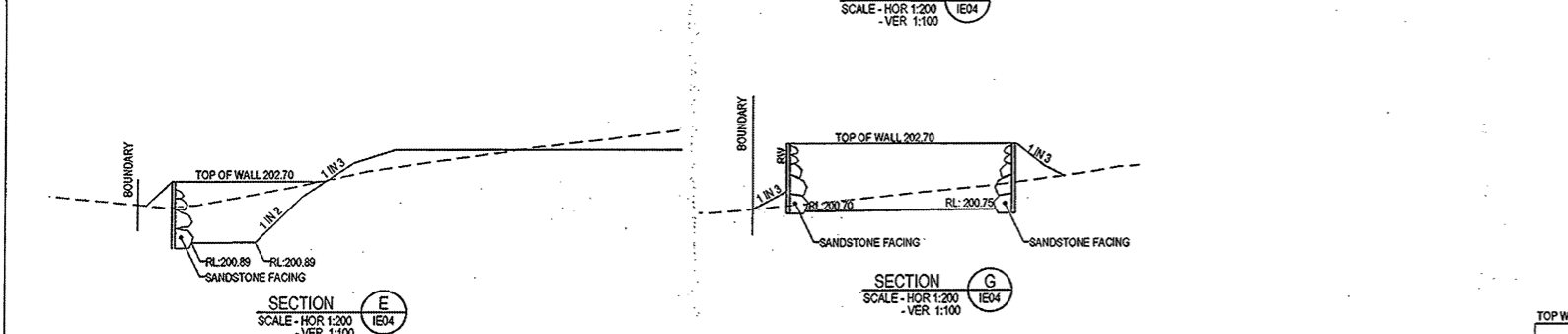
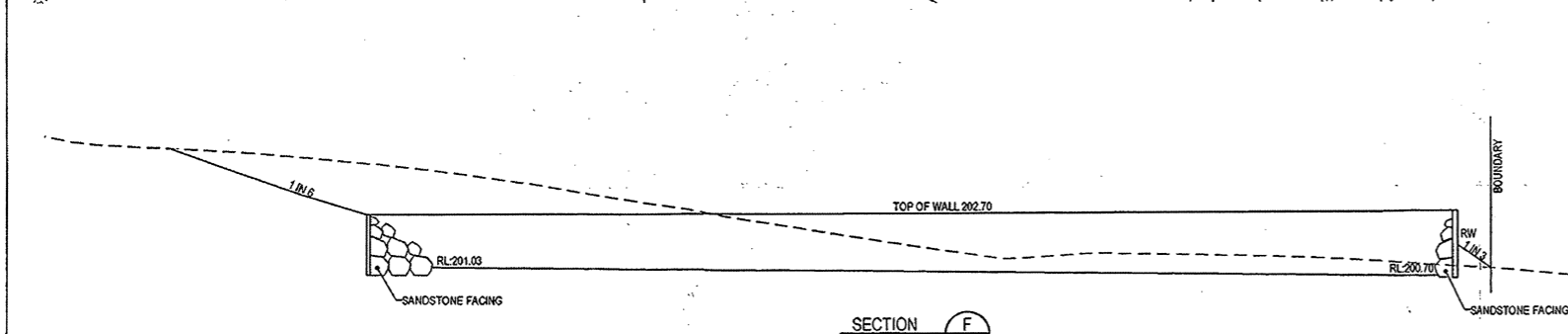
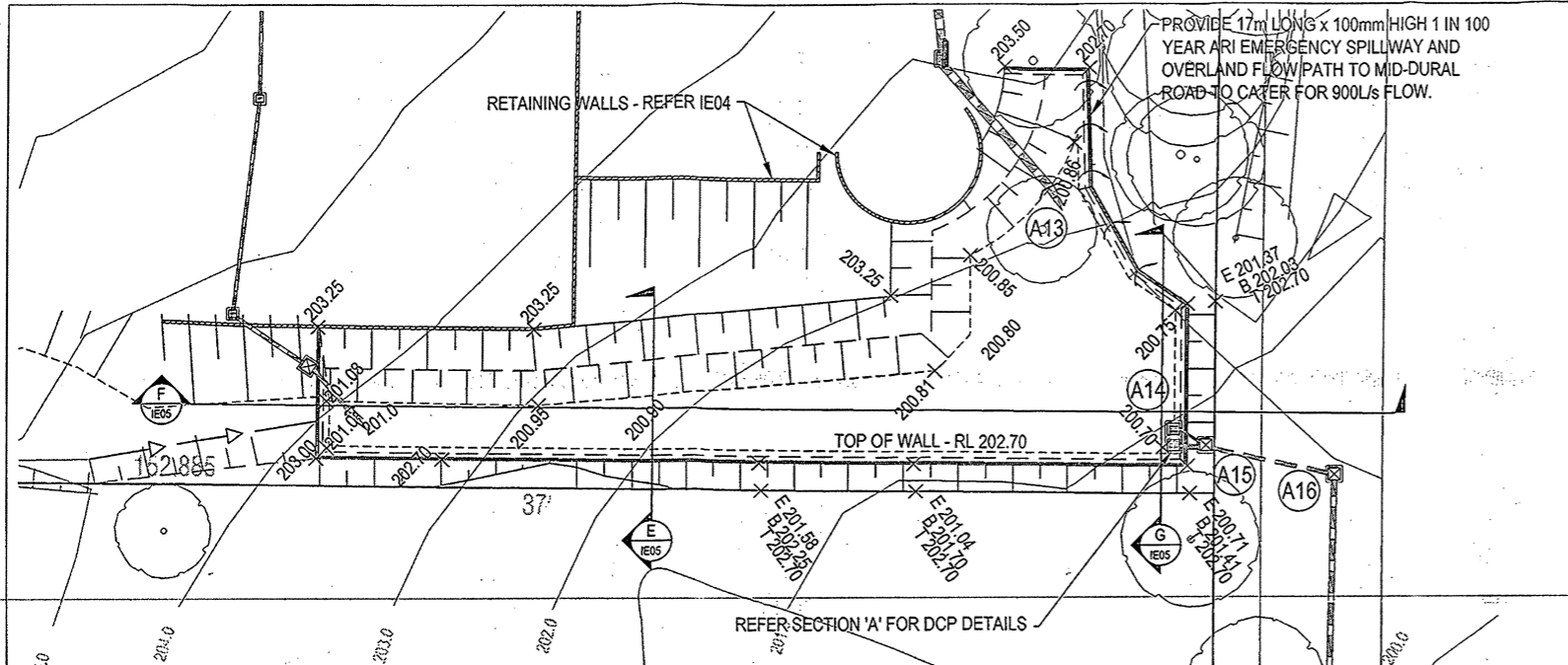
PROVIDE 17m LONG x 100mm HIGH 1 IN 100 YEAR ARI EMERGENCY SPILLWAY AND OVERLAND FLOWPATH TO MID-DURAL ROAD TO CATER FOR 900L/s FLOW.

RETAINING WALLS - REFER IE04

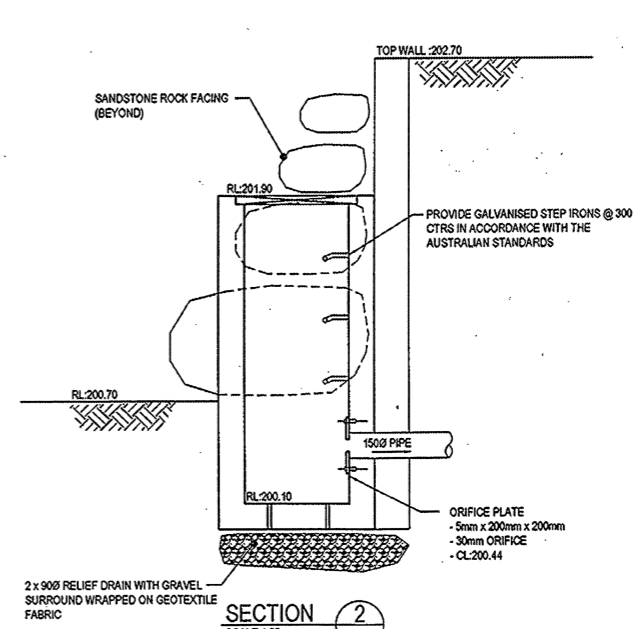
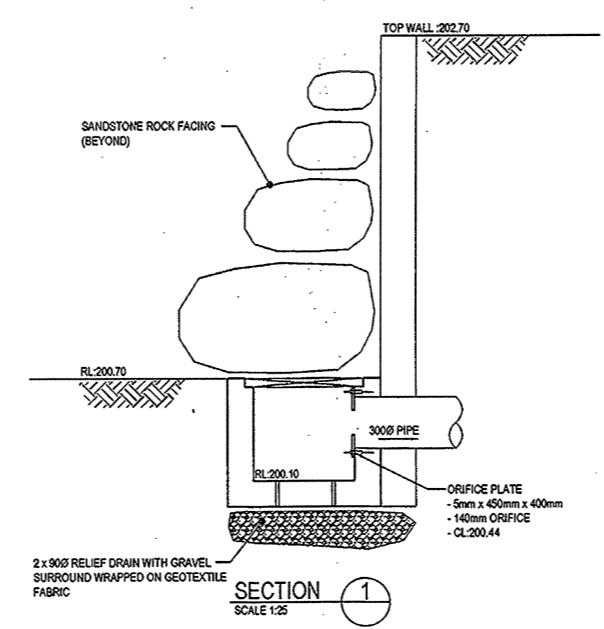
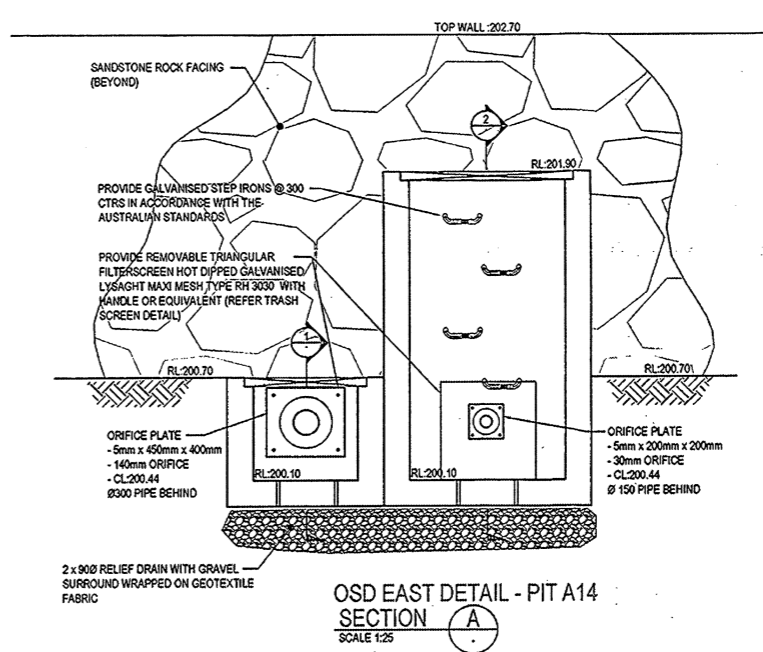
REFER LANDSCAPE ARCHITECTURAL DOCUMENTATION FOR BASIN PLANTING DETAILS AND SANDSTONE FACING SPECIFICATION

| REV | DESCRIPTION | BY | DATE |
|-----|-----------------|----|----------|
| A | FOR PRELIMINARY | RL | 20-05-10 |
| B | FOR DA ISSUE | RL | 05-07-10 |
| C | FOR DA ISSUE | RL | 05-07-10 |
| D | FOR DA ISSUE | RL | 05-05-11 |

STATUS
PRELIMINARY
NOT FOR CONSTRUCTION



TRASH SCREEN NOTES:
1. MAXIMESH SCREENS MUST BE PLACED SUCH THAT THE LONG AXIS OF THE OVAL SHAPED HOLES ARE ORIENTATED HORIZONTALLY WITH THE PORTRUDING LIP ANGLED UPWARDS AND FACING TOWARDS THE OUTLET.
2. THE SCREEN IS TO BE FORMED BY WELDING TWO TRIANGULAR MAXIMESH (OR EQUIVALENT) PANELS TO A RECTANGULAR FRONT MAXIMESH PANEL (OR EQUIVALENT).



FILE: X:\110376 - Galston Retirement Village\110376-00-IE04.dwg - W:\PLOT TIME: 09 May 2011, 3:30pm

MEINHARDT
INFRASTRUCTURE & ENVIRONMENT

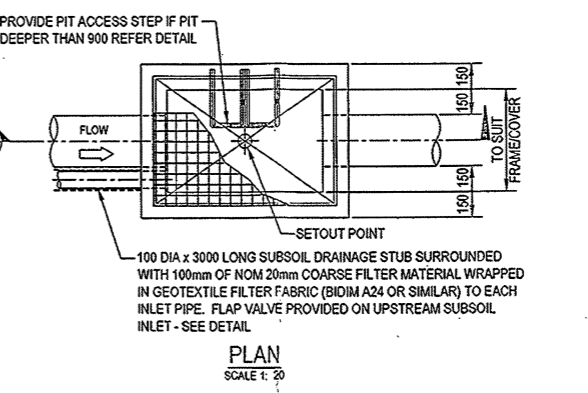
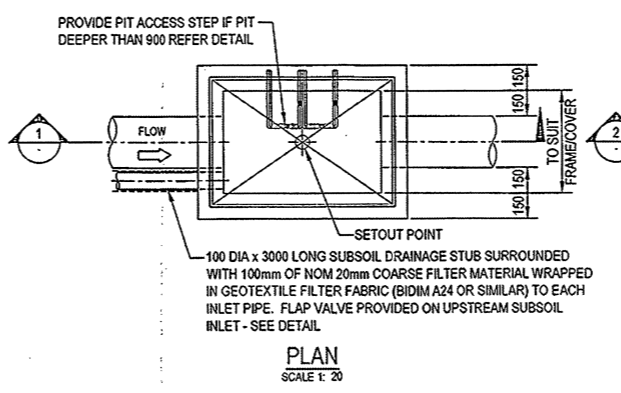
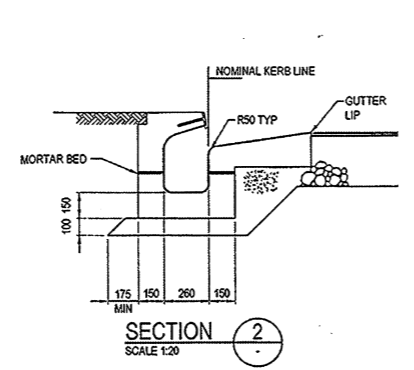
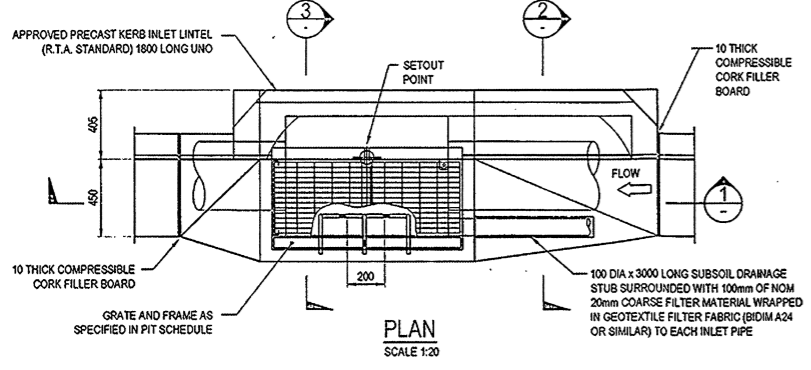
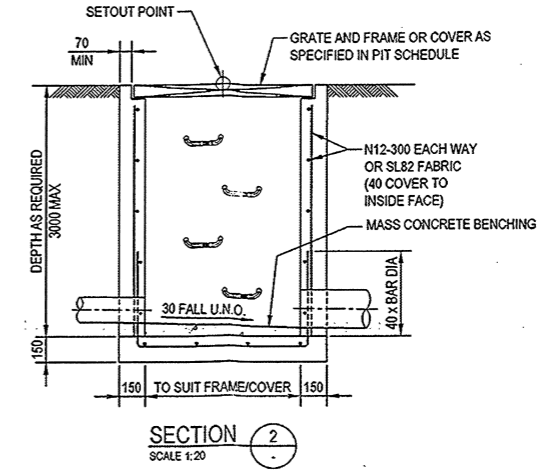
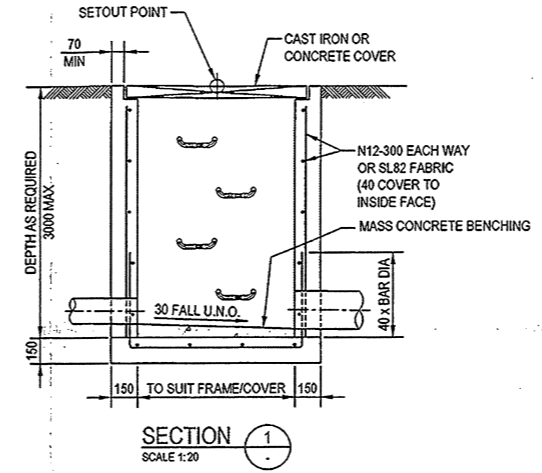
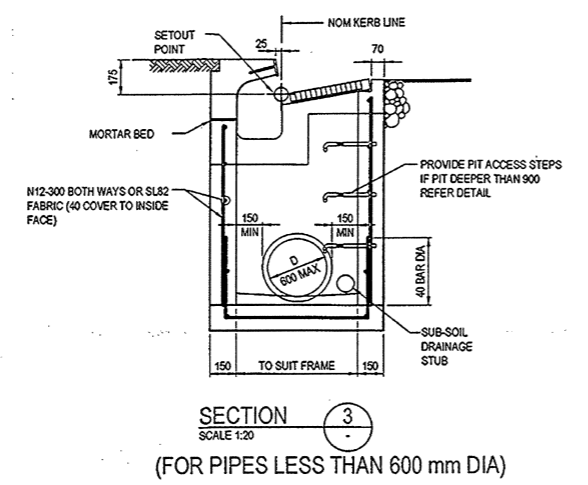
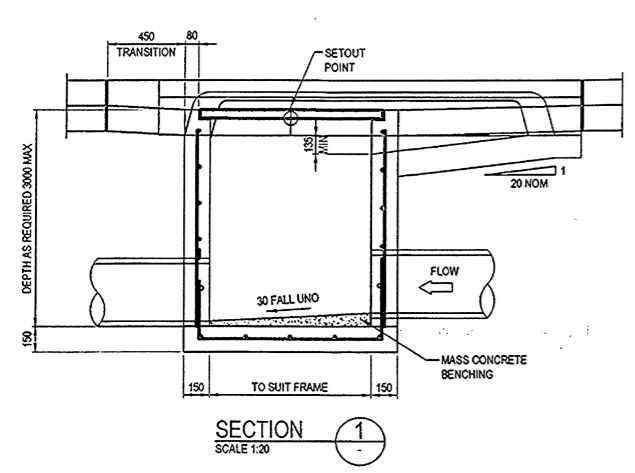
Level 4, 85 Channon Street
Sydney NSW 2009
Telephone: (02) 9559 3503
Fax: (02) 9519 7588
www.meinhardtgroup.com
A/C/N: 611 027 591
© copyright

PROJECT
GALSTON RETIREMENT VILLAGE
392 GALSTON ROAD, GALSTON
CLIENT
TREYSTEN PTY LTD

| | | | | |
|------------|-------------|------------|------|----------|
| TITLE | OSD DETAILS | | | NORTH |
| DESIGNED | PD | DRAWN | RL | APPROVED |
| PROJECT No | 103976 | DRAWING No | IE08 | REV |
| | | | | D |

| REV | DESCRIPTION | BY | DATE |
|-----|-----------------|----|----------|
| A | FOR INFORMATION | RL | 25-05-10 |
| B | FOR ISSUE | RL | 02-07-10 |
| C | FOR ISSUE | RL | 06-07-10 |
| D | FOR ISSUE | RL | 12-03-10 |

STATUS: PRELIMINARY
NOT FOR CONSTRUCTION

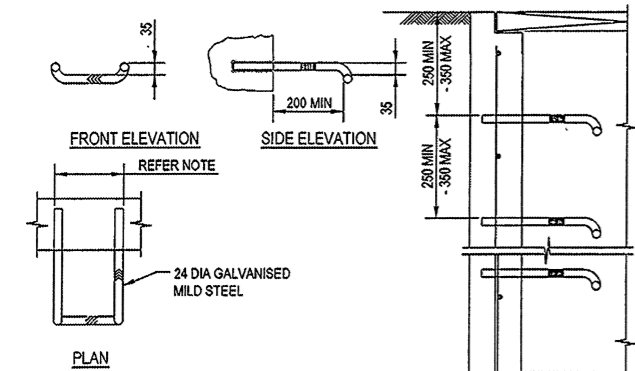


SIDE ENTRY PIT (SEP 1) DETAIL
SCALE 1:20

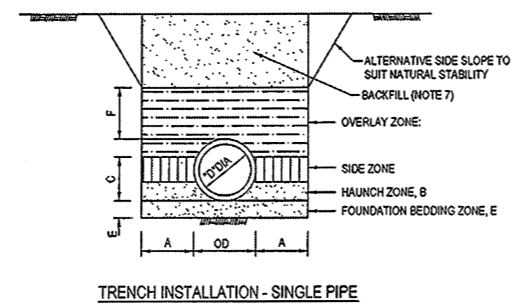
JUNCTION PIT (JP) DETAIL
SCALE 1:20

GRADED PIT (GP) DETAIL
SCALE 1:20

- PIT NOTES:**
- CAST IN SITU CONCRETE PITS MAY BE SUBSTITUTED WITH APPROVED PRE-CAST CONCRETE PITS IF APPROVED IN WRITING
 - PRECAST CONCRETE PITS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION



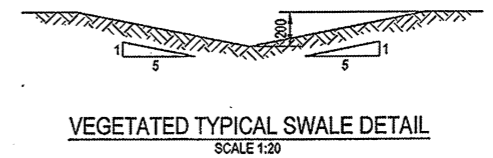
PIT ACCESS STEP DETAIL
SCALE 1:10
(FOR PITS DEPTH ≥ 1200mm)



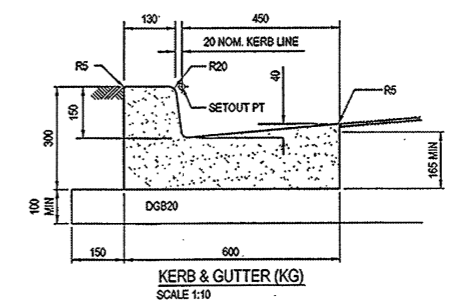
TYPE HS3 SUPPORT FOR CONCRETE AND PVC PIPES
NOT TO SCALE

- TRENCH NOTES:**
- WINGWALLS- FILL/BACKFILL MATERIAL SHALL BE PLACED 300 WIDE BEHIND WINGWALLS FOR THE LENGTH AND HEIGHT OF THE WALLS.
 - OVERLAY MATERIAL- MATERIAL PROPERTIES AND COMPACTION SHALL BE AS FOR THE SIDE ZONE.
 - SIDE SUPPORT COMPACTION- THE TRENCH WALLS SHALL HAVE A DENSITY AND STIFFNESS NOT LESS THAN THOSE OF THE ADJACENT COMPACTED FILL FOR A MINIMUM WIDTH 2500 EACH SIDE OF THE TRENCH AND TO A MINIMUM HEIGHT OF 700 ABOVE THE BOTTOM OF THE PIPE.
 - WORKING LOADS ARE THOSE DUE TO FILL MATERIAL AND STANDARD HIGHWAY VEHICLES AS PER AS 3725. CONSTRUCTION LOADS HAVE NOT BEEN ALLOWED FOR.
 - DIMENSIONS ARE IN MILLIMETRES UNLESS SHOWN OTHERWISE.
 - ALL BEDDING, HAUNCH, SIDE ZONE & OVERLAY ZONE SHALL CONSIST OF COURSE GRADED SAND.
 - BACKFILL SHALL CONSIST OF GRANULAR OR SANDY FILL WHERE UNDER THE ZONE OF INFLUENCE OF PAVEMENTS, STRUCTURES, AND WITHIN PLAYING FIELD, OR GENERAL FILL COMPACTED TO 95% SMDD WHERE UNDER LANDSCAPED AREAS.

- REFERENCED DOCUMENTS:-**
- AUSTRALIAN STANDARDS AS 3725-1989 LOADS ON BURIED CONCRETE PIPES
 - RTA QA MODEL SPECIFICATION PART R11 STORMWATER DRAINAGE.



VEGETATED TYPICAL SWALE DETAIL
SCALE 1:20



KERB & GUTTER (KG)
SCALE 1:10

Level 4, 88 Clarence Street
Sydney NSW 2000
Telephone: (02) 9890 3088
Fax: (02) 9819 7500
www.mitchellgroup.com
ACCA 451 827 581
©Copyright

PROJECT: GALSTON RETIREMENT VILLAGE
392 GALSTON ROAD, GALSTON

CLIENT: TREYSTEN PTY LTD

TITLE: MISCELLANEOUS DETAILS

DESIGNED: PID DRAWN: RL APPROVED: RL SCALE: A1

PROJECT No: 103976 DRAWING No: IE10 REV: D

FILE: X:\03976 - Galston Retirement Village\03976\03976_3\INT\REV\03976_3_103976.dwg - IMPLOT TIME: 08/07/2011, 10:56pm

Our Reference: DA/484/2011

22 August 2012

Mr John Mustacca
Care Treysten Pty Ltd
Unit 4, 40-42 Avalon Parade
AVALON NSW 2107

Attention: Mr Csaba Kaposi

Dear Mr Kaposi

| | |
|-------------------------------------|--|
| Development Application No.: | DA/484/2011 |
| Description of Development: | RESIDENTIAL - SENIORS LIVING - INDEPENDENT LIVING COMPRISING 76 UNITS - COMMUNITY CENTRE & ASSOCIATED LANDSCAPE WORKS - DEMOLITION |
| Property: | Lot 1 DP 654433, Lot C DP 38865 392 Galston Road & 5 Mid-Dural Road, GALSTON NSW 2159 |

I refer to the above matter.

Based on the information submitted, Council is satisfied that the conditions within Schedule A of the development consent have been achieved. Accordingly, the applicant can now act on this consent.

If you would like to discuss any aspect of this matter please do not hesitate to contact Garry Mahony on 9847 6868.

Yours faithfully,

Garry Mahony
Assessments
Planning Division